



**CITY OF EL MONTE
MODIFICATION
COMMITTEE**

CHAIRPERSON
CESAR PERALTA

DEPUTY DIRECTOR
JASON MIKAELIAN

CHIEF BUILDING OFFICIAL
JESS McCLOSKEY

Phone: (626) 258-8626
www.elmonteca.gov
planning@elmonteca.gov

ZONING REVIEW COMMITTEE AGENDA

CITY OF EL MONTE ZONING REVIEW COMMITTEE

TUESDAY, JULY 26, 2022 (Special Meeting Date)

6:00 P.M.

CITY HALL EAST – COUNCIL CHAMBERS
11333 VALLEY BOULEVARD

This meeting shall be conducted in compliance with the procedures set forth under AB361 which allows local legislative bodies to continue conducting virtual meetings under certain emergency circumstances without strictly complying with traditional Brown Act teleconferencing requirements, so long as there is a live comment option for public comments, meetings are paused for any technical difficulties that affect public participation, and each agenda contains information on how to access the meeting as well as how to participate in public comment virtually. The El Monte City Council has availed itself of the procedures of AB361 for meetings of the City of El Monte's Legislative Bodies by resolution last approved at its meeting of June 21, 2022.

Members of the public wishing to observe the meeting may do so in one of the following ways:

- (1) Attend the meeting in person at the City's Council Chambers. All COVID-19 safety precautions (e.g. wearing a mask and social distancing) shall be followed at all times.
- (2) Turn your TV to Channel 3.
- (3) Visit the City's website at: <http://www.elmonteca.gov/378/council-meeting-videos>

Members of the public wishing to make public comment may do so in one of the following ways:

- (1) Call-in Conference (669) 444-9171; Meeting ID 819 5313 8958 and then press #. Press # again when prompted for participant ID. Once admitted into the meeting, press *9 to request to speak.
- (2) Email or Telephone– All interested parties can submit comments in advance to the Planning Division's general telephone line: (626) 258-8626 or planning@elmonteca.gov. All comments must be received by the Planning Division no later than 3:00 pm on July 26, 2022.

Instruction regarding accommodation under the Americans with Disabilities Act can be found on the last page of this Agenda.

OPENING OF MEETING

- 1. **Call Meeting to Order**
- 2. **Flag Salute**
- 3. **Roll Call**
- 4. **Public Comments**

Citizens wishing to address the Zoning Review Committee on land use and development matters may do so at this time. Note that the Committee cannot respond to or take any action on the item.

Citizens wishing to speak on an agenda item will be given the opportunity to speak after the item is presented by staff.

Limit your comments to three (3) minutes. State your name and address for the record.

PUBLIC HEARING

5. Minor Use Permit (MUP) No. 06-22

Address: 3229 Durfee Avenue / APN No. 8565-003-018

Request: The Applicant is requesting approval to establish a 5,000 square foot (SF) secondhand vendor of wholesale electronics. The subject site is located in the C-3 (General Commercial) zone. The MUP request is made pursuant to Chapter 17.123 (Conditional and Minor Use Permits) of the El Monte Municipal Code (EMMC).

CEQA Determination: Article 19. Categorical Exemptions – Section 15301 (Class 1 – Existing Facilities) in accordance with the requirements of the California Environmental Quality (CEQA) Act of 1970 and the CEQA Guidelines, as amended.

Case Planner: Adrian Perez, Assistant Planner

Recommendation:

- Open the public hearing;
- 1. Receive presentation from staff;
- 2. Pose questions to staff;
- 3. Allow members of the public to offer comment;
- 4. Pose follow up questions to staff;
- 5. Close the public hearing; and
- 6. Approve the Minor Use Permit request, adopt the Conditions of Approval and adopt the Categorical Exemption.

6. Minor Use Permit (MUP) No. 08-20

Address: 3144 Santa Anita Avenue / APN No. 8580-017-026

Request: The Applicant is requesting approval to establish a 11,360 square foot (SF) medical trade school within an existing 22,600± SF building. The subject site is located in the C-2 (Neighborhood Commercial) zone. The MUP request is made pursuant to Chapter 17.123 (Conditional and Minor Use Permits) of the El Monte Municipal Code (EMMC).

CEQA Determination: Article 19. Categorical Exemptions – Section 15301 (Class 1 – Existing Facilities) in accordance with the requirements of the California Environmental Quality (CEQA) Act of 1970 and the CEQA Guidelines, as amended.

Case Planner: Adrian Perez, Assistant Planner

Recommendation: Open the public hearing;

1. Receive presentation from staff;
2. Pose questions to staff;
3. Allow members of the public to offer comment;
4. Pose follow up questions to staff;
5. Close the public hearing; and
6. Approve the Minor Use Permit request, adopt the Conditions of Approval and adopt the Categorical Exemption.

NEXT SCHEDULED ZONING REVIEW COMMITTEE MEETING

Tuesday, August 9, 2022 at 6:00 p.m.

City Hall East – City Council Chambers

Availability of staff reports: Copies of the staff reports or other written documentation relating to each item of business described hereinabove are available on the City's Home Page at www.elmonteca.gov or <https://www.ci.el-monte.ca.us/AgendaCenter/Planning-Commission-2>. You may also call the Planning Division at (626) 258-8626 for more information.

Individuals with special needs: The City of El Monte wishes to assist individuals with special needs. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Division at (626) 258-8626. Notification 48 hours prior to the meeting will enable us to make reasonable arrangements to ensure accessibility to this meeting. [28 Code of Federal Regulations 35.102-35.104 ADA Title II]

General explanation of how the meeting is conducted:

1. The staff report is presented by City Planning staff.
2. The Zoning Review Committee may ask questions if necessary for clarification.
3. The Zoning Review Committee Chair opens the public hearing.
4. The applicant makes a presentation to the Zoning Review Committee.
5. Individuals speaking in favor of the project address the Committee.
6. Individuals speaking against the project address the Committee.
7. The applicant responds to project opponents.
8. The public hearing is closed.
9. Zoning Review Committee members discuss the project.
10. Zoning Review Committee members vote on the project.
11. Any interested party who disagrees with the Zoning Review Committee decision may appeal the Committee's decision to the Planning Commission within 10 calendar days. Any appeal filed must be directed to the City Clerk's Office and must be accompanied by a fee of \$868.00 or \$1,465.00 (depending on the type of project). Any individual that received notice of this meeting from the City of El Monte will receive notice of an appeal if one is filed.

TO: ZONING REVIEW COMMITTEE

FROM: BETTY DONAVANIK
COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR

JASON C. MIKAELIAN, AICP
DEPUTY DIRECTOR

BY: ADRIAN V. PEREZ
ASSISTANT PLANNER

SUBJECT: MINOR USE PERMIT (MUP) NO. 06-22

LOCATION: 3229 DURFEE AVENUE/ APN: 8565-003-018

APPLICANT: IVAN MORAN, RECYCLE INTERNATIONAL
3231 DURFEE AVENUE
EL MONTE, CA 91732

PROPERTY OWNER: ART WEISS, INC.
10616 RUSH STREET
SOUTH EL MONTE, CA 91733

ENVIRONMENTAL DETERMINATION: ARTICLE 19 CATEGORICAL EXEMPTION - SECTION 15301 (CLASS 1 – EXISTING FACILITIES) IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT OF 1970 AND THE CEQA GUIDELINES, AS AMENDED

RECOMMENDATION: ADOPT A CATEGORICAL EXEMPTION & APPROVE MINOR USE PERMIT NO. 06-22, SUBJECT TO CONDITIONS

REQUEST:

The Applicant is requesting approval of a Minor Use Permit (MUP) to establish a 5,000± square foot (SF) secondhand vendor of electronic goods (Recycle International). The MUP request is made pursuant to Chapter 17.123 (Conditional and Minor Use Permits) of the El Monte Municipal Code (EMMC). The application has been reviewed under the new Zoning Code, adopted by the City Council on June 21, 2022.

SUBJECT PROPERTY:

Location:	West of Durfee Avenue, South of Garvey Avenue
General Plan:	General Commercial
Zone:	C-3 (General Commercial)
Street Frontage:	Approximately 90 ± feet along Durfee Avenue and 90 ± feet along Garvey Avenue
Lot Size:	50,965 square feet (1.17 acres)
Existing Site Improvements:	Multi-Tenant Commercial Structure

SURROUNDING PROPERTIES:

	General Plan:	Zoning:	Land Use:
North:	General Commercial	C-3 (General Commercial)	Commercial
East:	General Commercial	C-3 (General Commercial)	Commercial
South:	General Commercial	C-3 (General Commercial)	Commercial
West:	General Commercial	C-3 (General Commercial)	Commercial

AERIAL PHOTO AND ZONING:



BACKGROUND:

The property is currently improved with a 27,950 square foot multi-tenant commercial structure that was constructed in 1966, according to Los Angeles County Assessor records.

DISCUSSION:

Approval of this MUP will allow for a 5,000 square foot secondhand vendor of electronic goods within an existing tenant space within an existing 27,950 square foot multi-tenant commercial building. Secondhand vendors may be located within the C-3 zoning district, subject to the approval of an MUP, pursuant to EMMC Chapter 17.123. Staff has determined that the proposed project is consistent with the El Monte General Plan policies and Zoning Ordinance requirements, as determined in the Findings.

According to Business License Records, Recycle International has been in operation at 3231 Durfee Avenue since October of 2011. The new location is being proposed to accommodate business growth. Recycle International collects computers, monitors, laptops, digital projectors and surplus electronic items from school districts, colleges, universities and select corporations throughout Southern California. This location will allow Recycle International to intake, sort, rehabilitate and sell electronic materials at the subject site.

As a wholesale business, Recycle International is not open to the public. They do not intend to dismantle or recycle at the proposed subject location. Additionally, commercial and household appliances are not collected or received. Recycle International includes a staff of approximately ten (10) employees. The proposed business hours are 7:30 a.m. to 3:30 p.m.

Secondhand vendors require an MUP to review potential issues related to overconcentration of businesses, the type of items sold, and hours of operation. Staff has determined that the proposed use will not pose negative impacts to the surrounding context.

FINDINGS OF FACT:

In order to approve the project, the Zoning Review Committee is required to make certain findings. Section 17.123.040 (EMMC) - Necessary conditions outlines the four (4) required findings and conditions to be met in order to approve any MUP:

FINDING:

- A. The Conditional Use Permit or Minor Use Permit will not be detrimental to the public health, safety or welfare or injurious to the subject property or other improvements in the vicinity;

FACT:

The Minor Use Permit to establish a 5,000 SF secondhand vendor of electronic goods will not be detrimental to the public health, safety, or welfare or injurious to the subject

property or other improvements in the vicinity. The business is currently operating at an existing tenant space on the property and has demonstrated responsible practices. Additionally, there is no active Code Enforcement case that exists. Conditions of approval have been imposed to ensure continued public health, safety, and welfare are not compromised. If the conditions of approval are found to be in violation by the Applicant, the City, at its discretion, can have the MUP revisited by the City's Planning Commission for revocation consideration in accordance with Section 17.10.140 of the EMMC.

FINDING:

- B. The proposed use applied for at the location indicated is one (1) for which a Conditional Use Permit or Minor Use Permit is authorized;

FACT:

According to the EMMC, this proposed use is may operate within the C-3 (General Commercial) zoning district subject to the approval of a Minor Use Permit. In addition, the EMMC requires any *new* secondhand vendor to be a minimum of 1,000 feet from an existing secondhand vendor. The closest secondhand vendor is approximately 1,700± feet away.

FINDING:

- C. The subject property for the proposed use is adequate in size and shape to accommodate such use and that all yards, spaces, walls, fences, parking, loading, landscaping and other features required for the proposed use are provided;

FACT:

The Applicant is requesting an MUP to operate as a secondhand vendor within an existing 5,000± square foot tenant space within a 27,950 square foot multi-tenant commercial building. The configuration of the site allows commercial businesses to operate without impacting the residential uses located northwest of Durfee Avenue and Garvey Avenue. The proposed secondhand vendor is proposed to conduct a wholesale operation, which will not be open to the general public, which would thereby require the same number of parking spaces as manufacturing, warehouse, and logistics. In addition, the City's occupancy permit records reflect that current and previous businesses at the existing commercial building consist of wholesale businesses, service, and office uses; therefore, the proposed secondhand vendor would meet the parking requirements and would not create any negative impacts according to the EMMC Section 17.70.050 Required On-Site Parking of Non-Residential Uses. Staff has determined that the subject property is adequate in size and shape to accommodate the proposed secondhand vendor and all yards, spaces, walls, fences, landscaping, and other features provided will accommodate the proposed use. A condition of approval to re-slurry and restripe portions of the parking lot has been added.

Additionally, the project is conditioned to improve a portion of the parking areas, to meet current maintenance requirements.

FINDING:

- D. The subject property abuts streets and highways adequate in width and pavement type to carry the kind of traffic which will be generated by the proposed use;

FACT:

The subject property abuts streets and highways adequate in width and pavement type to carry the kind of traffic which will be generated by the proposed use. According to the El Monte 2011 General Plan, Garvey Avenue is identified as a major arterial street and Durfee Avenue is identified as a secondary arterial street. Furthermore, Garvey Avenue is identified as an appropriate street for trucks to access the property.

FINDING:

- E. The Conditional Use Permit or Minor Use Permit is consistent with the purpose, goals and policies of the City's General Plan, Zoning Code and any applicable Specific Plan.

FACT:

The Minor Use Permit is consistent with the propose, goals, and policies of the City's General Plan, Zoning Code, and any applicable Specific Plan. Policy LU-4.4-Economic Development (located in the El Monte 2011 General Plan), provides support of the development of office, commercial, and industrial uses, both citywide and in strategic areas, that strengthen the economy. According to the El Monte Municipal Code (EMMC), the proposed use would be authorized to be established within the C-3 zoning districts, subject to the approval of an MUP, pursuant of EMMC Chapter 17.123.

CONDITIONS OF APPROVAL:

1. The project shall substantially conform to the site plan, floor plan and elevation plans on file with the City's Planning Division and as presented to the Zoning Review Committee on July 26,2022 and as amended herein.
2. The approval of Minor Use Permit No. 06-22 is valid for one (1) year from the date of approval. During this time period, the applicant is responsible for obtaining the required City permit(s) for the proposed project.
3. If the applicant has proceeded in good faith toward the implementation of the Minor Use Permit, as determined by the Community Development Director, the applicant may request a 12-month extension. The applicant shall submit the request prior to the expiration date. The extension shall be considered by the Community Development Director within 30 days of the request. The applicant may request additional extensions, which shall be considered by the Planning Commission.

4. Plans shall comply with all City Department/Divisions regulations, guidelines, and conditions of approval including Building, Engineering, Planning and the Los Angeles County Fire Department.
5. The project shall conform to the most recent California Building Codes including but not limited to the California Green Building Code.
6. Applicant is required to repair the parking area immediately facing Durfee and the initial 100 feet of parking area that runs parallel to the tenant space. This parking area shall be restriped and meet the City's parking lot striping standards.
7. All operations of the business shall occur within the confines of the building; and no outside storage is allowed.
8. Subject to review and applicability by the Community & Economic Development Director, Public Works Director, and the City Attorney and to ensure ongoing compliance with the conditions of approval set forth under this resolution and to ensure that the property and all improvements located thereupon are properly maintained, the applicant (and the owner of the property upon which the authorized use and/or authorized improvements are located if different from the applicant) shall execute a maintenance agreement with the City of El Monte which shall be recorded against the property and which shall be in a form reasonably satisfactory to the City Attorney. The maintenance agreement shall contain covenants, conditions and restrictions relating to the following:
 - a. Compliance with operational conditions applicable during any period(s) of construction or major repair (e.g., proper screening and securing of the construction site; implementation of proper erosion control, dust control and noise mitigation measure; adherence to approved project phasing etc.).
 - b. Compliance with ongoing operational conditions, requirements and restrictions, as applicable (including but not limited to hours of operation, security requirements, the proper storage and disposal of trash and debris, and/or restrictions on certain uses, including uses determined by the Planning Commission (or the City Council upon appeal) to be incompatible or inconsistent with any authorized uses; compliance with applicable State and/or federal statutes and regulations, including but not limited to compliance with statutes and regulations regarding the appropriate operating guidelines for certain equipment (e.g., emissions standards, radio frequency emissions standards etc.);
 - c. Ongoing maintenance, repair and upkeep of the property and all improvements located thereupon (including but not limited to controls on the proliferation of trash and debris about the property; the proper and timely removal of graffiti; the timely maintenance, repair and upkeep of damaged,

vandalized and/or weathered buildings, structures and/or improvements; the timely maintenance, repair and upkeep of exterior paint, parking striping, lighting and irrigation fixtures, walls and fencing, publicly accessible bathrooms and bathroom fixtures, landscaping and related landscape improvements and the like, as applicable).

9. A copy of the final decision letter with the conditions of approval shall be submitted with any building plans.

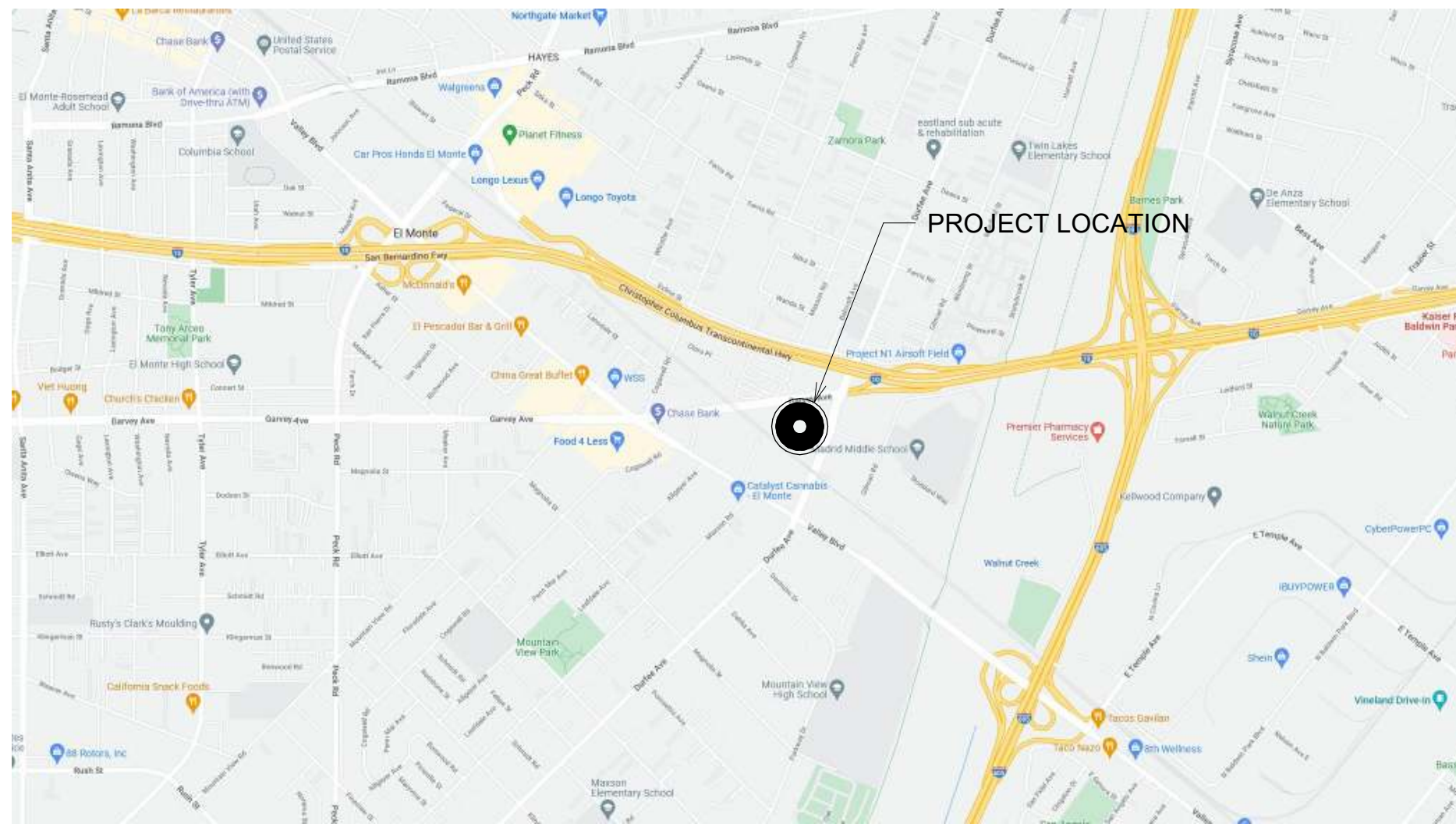
RECOMMENDATION:

Staff recommends that the Zoning Review Committee evaluate the proposal and consider the following Action:

1. Adopt a Categorical Exemption under Section 15301 (Class 1– Existing Facilities) pursuant to the California Environmental Quality Act and Guidelines, as amended and;
2. Adopt the finding of Facts to approve Minor Use Permit No. 06-22, subject to the conditions of approval.

ATTACHMENTS:

- A. Project Plans
- B. Public Hearing Notice
- C. Radius Map
- D. Site Posting Photo



VICINITY MAP

SCALE: 1/4" = 1'-0"

SCOPE OF WORK

EXISTING BUILDING NEW CARPET AND INTERIOR PAINT.

OCCUPANCY CLASSIFICATION:

LAND USE : REGIONAL COMERCIAL

EXISTING LOT: 50,946 SF
EXISTING BUILDING: 27,950 SF

NUMBER OF STORIES: 1

APN: 8565-003-018
TRACT NO 10760 LOTS 4 AND LOT 9 BLK B

Owner:

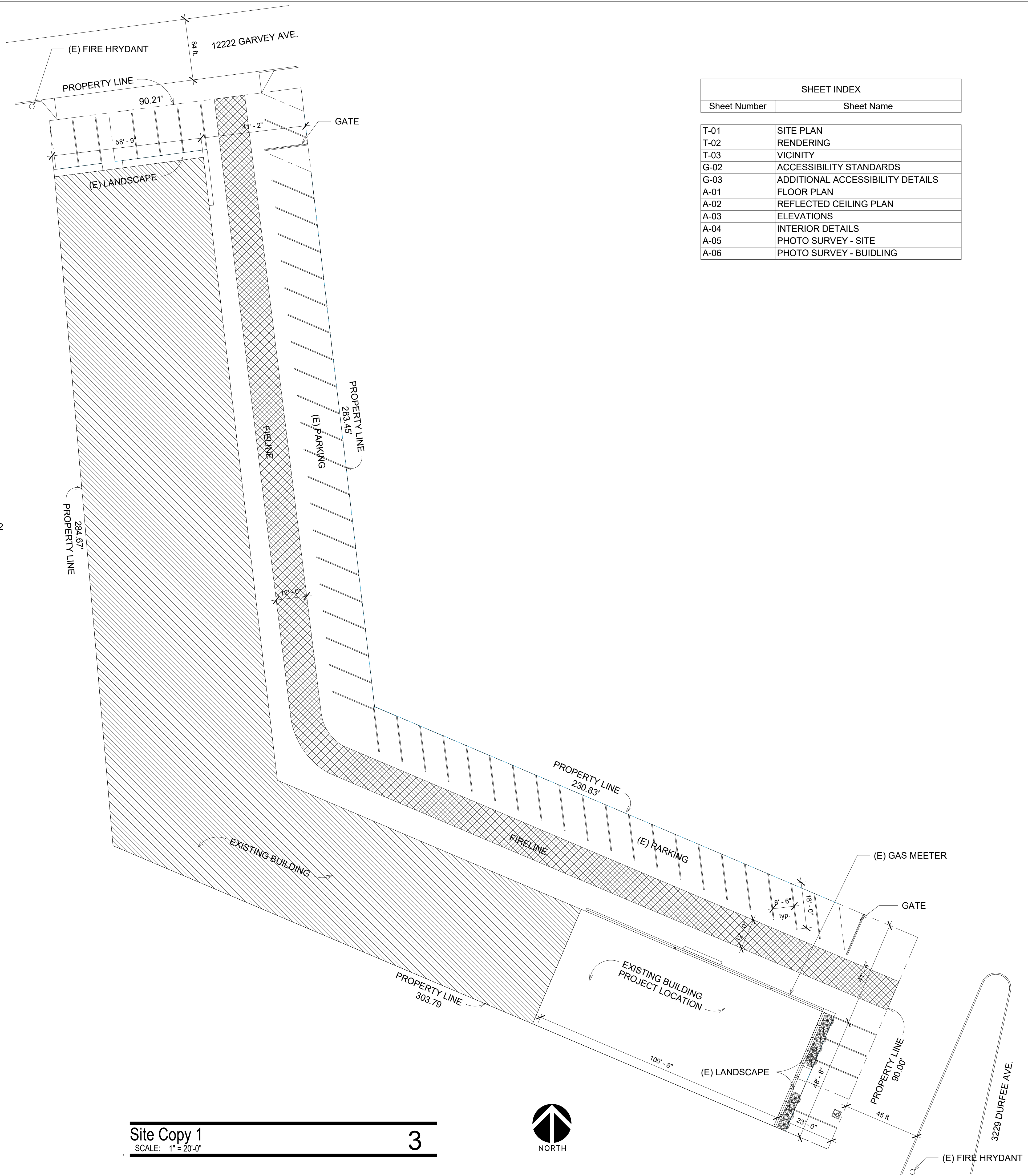
Designer
JUAN GUZMAN 626-388-7389
12144 Anderberg Ave, Downey CA. 90242

1. THIS PROJECT CONFORM TO 2019 CBC, CRC, CMC, CPC, CEC, CGBC, T24 CA Energy, CA Fire Code 2020
2. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED VIA GRAVITY, TO THE STREET OR AN APPROVED LOACTION AT A 2% MINIMUM
3. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS ALL WINDOW AND DOOR FRAMES, BETWEEN WALL, SOLEPLATES AND FLOORS AND ALL OTHER OPENING IN THE ENVELOPE. ALL EXTERIOR OPENINGS SHALL BE PROPERLY WEATEHRSTRIPPED, CERTIFIED AND LABELED
4. THE BUILDING DESIGN MEETS THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, CHAPTER. 2-53 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER2, SUBCHAPTER4, ARTICLE 3
5. MINIMUM DUAL GLAZING REQUIRED IN ALL NEW WINDOWS
6. CONCEALED SPACES OF WALLS, PARTITIONS AND FU-RRING SHALL BE FIRE STOPPED WITH 2 IN. MATERIAL. THE FULL WIDTH OF THE STUDS AT THE FLOOR AND CEILING LEVELS, AND AT INTERVALS NOT TO EXCEED 10 FEET HORIZONTALLY.
7. ALL INFORMATION SHOWN IN THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE DESIGNER SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE DESIGNER OR ENGINEER.

PROJECT INFORMATION

SCALE: 1/4" = 1'-0"

2



SHEET INDEX	
Sheet Number	Sheet Name
T-01	SITE PLAN
T-02	RENDERING
T-03	VICINITY
G-02	ACCESSIBILITY STANDARDS
G-03	ADDITIONAL ACCESSIBILITY DETAILS
A-01	FLOOR PLAN
A-02	REFLECTED CEILING PLAN
A-03	ELEVATIONS
A-04	INTERIOR DETAILS
A-05	PHOTO SURVEY - SITE
A-06	PHOTO SURVEY - BUIDLING

Site Copy 1

SCALE: 1" = 20'-0"

3



DESIGNER: Juan Guzman 626-388-7389

PROJECT NAME
BUSINESS OCCUPANCY PERMIT / SECOND HAND DEALER / ZONING C-3
3229 DURFEE AVE.
EL MONTE, CA, 91732

SHEET TITLE
SITE PLAN

Planning Division Received 6/1/22
Minor Use Permit 6-22

ISSUE Checker

Author

DRAWN BY:

CHECKED BY:

SCALE:

DESIGNER PROJECT NO.:

SHEET NUMBER

T-01

OF



NOTE: COLORS FINISHES ARE EXISTING TO REMAIN

SHEET TITLE
RENDERING

PROJECT NAME
**BUSINESS OCCUPANCY PERMIT /
SECOND HAND DEALER /ZONING C-3**
3229 DURFEE AVE.
EL MONTE, CA, 91732

ISSUE Checker

Author

DRAWN BY:

CHECKED BY:

SCALE:

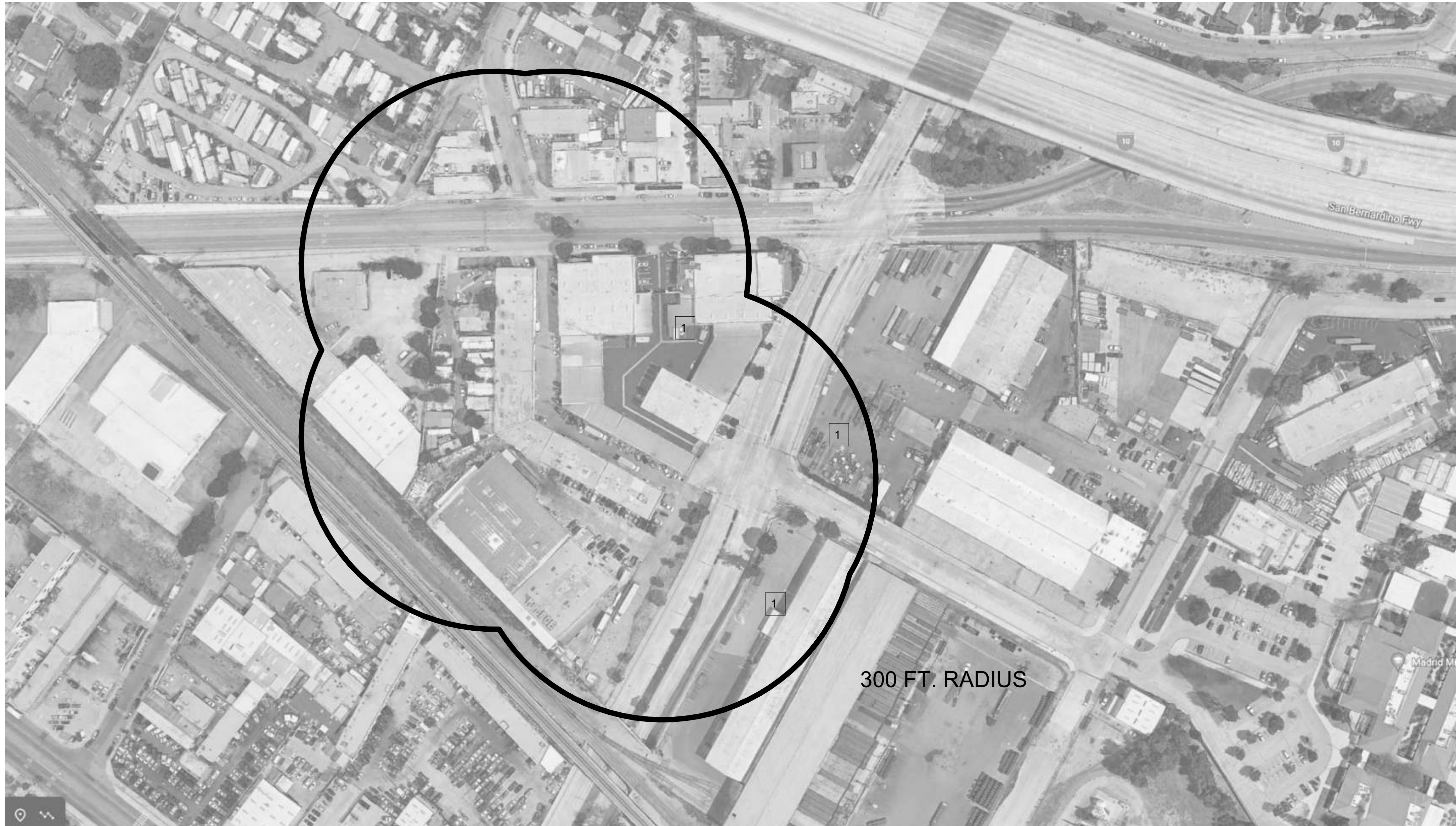
DESIGNER PROJECT NO.:

SHEET NUMBER

T-02

OF

8
DESIGNER:
Juan Guzman 626.388.7389



300 FT. RADIUS

VICINITY
SCALE: 1" = 100'-0" 1

bs
DESIGNER:
Juan Guzman 626.388.7389

PROJECT NAME
**BUSINESS OCCUPANCY PERMIT /
SECOND HAND DEALER /ZONING C-3**
3229 DURFEE AVE.
EL MONTE, CA, 91732

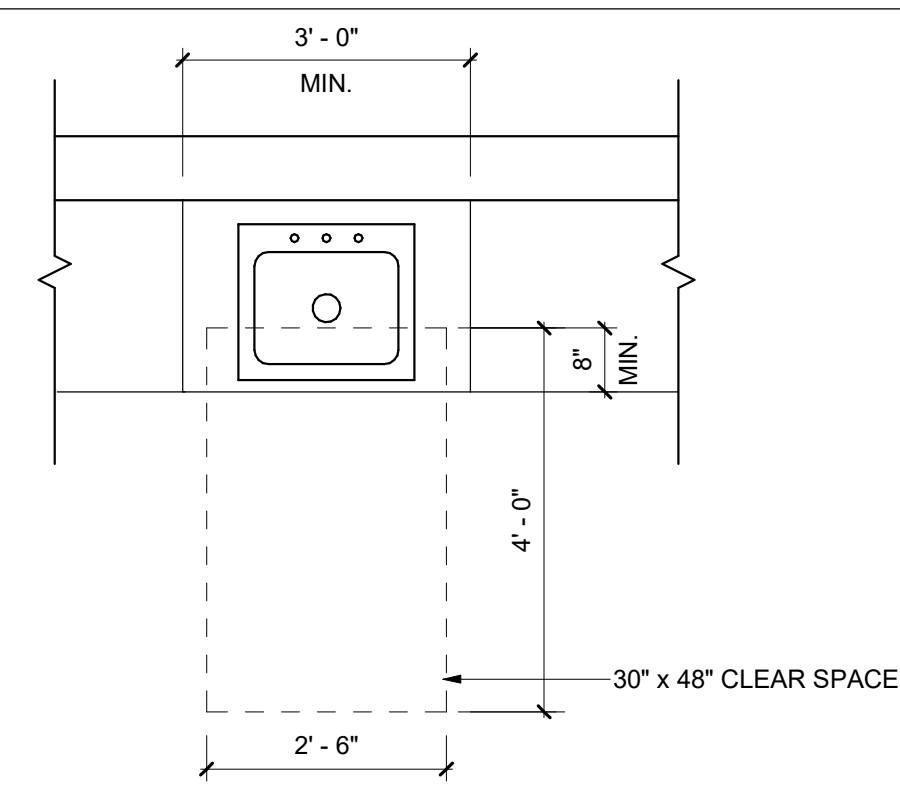
SHEET TITLE
VICINITY

ISSUE Checker
 Author

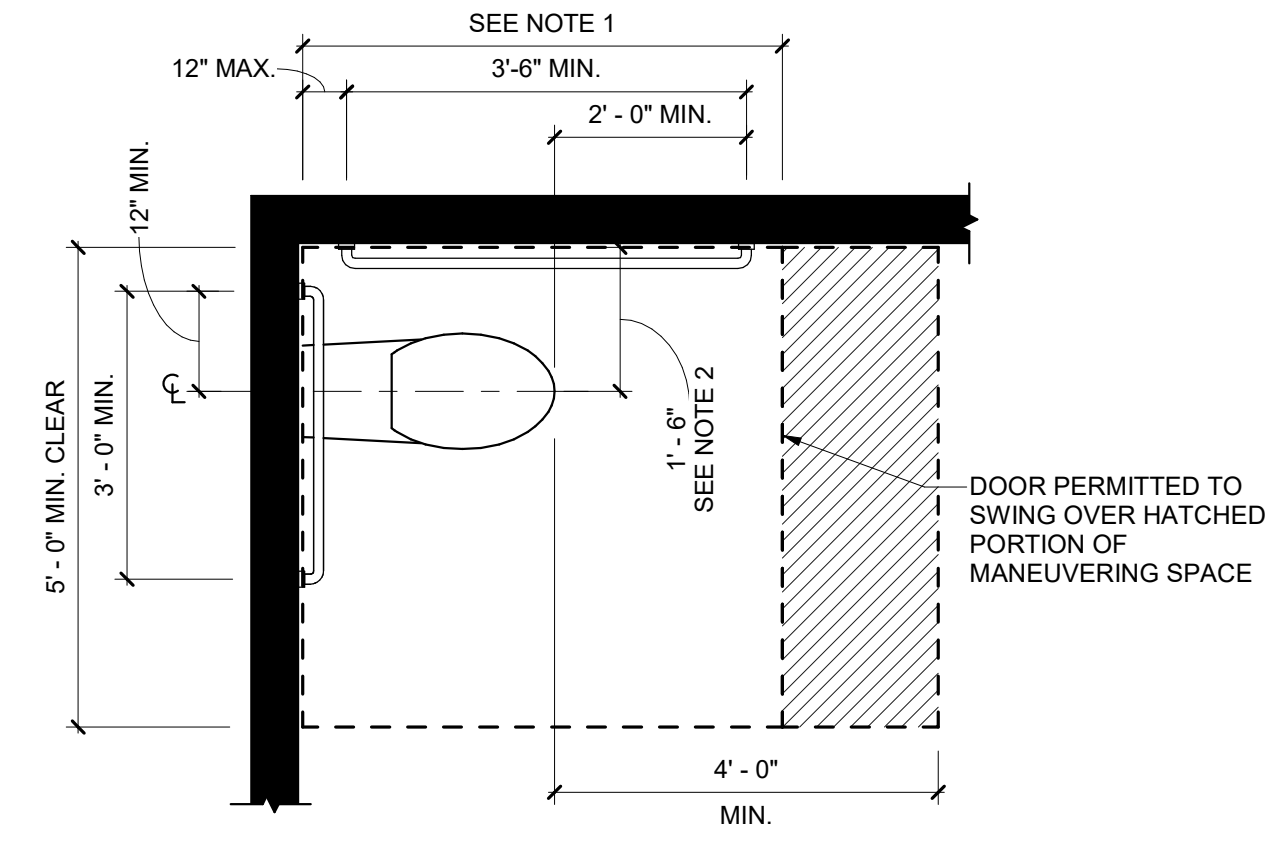
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DESIGNER PROJECT NO.: _____

SHEET NUMBER
T-03
OF _____

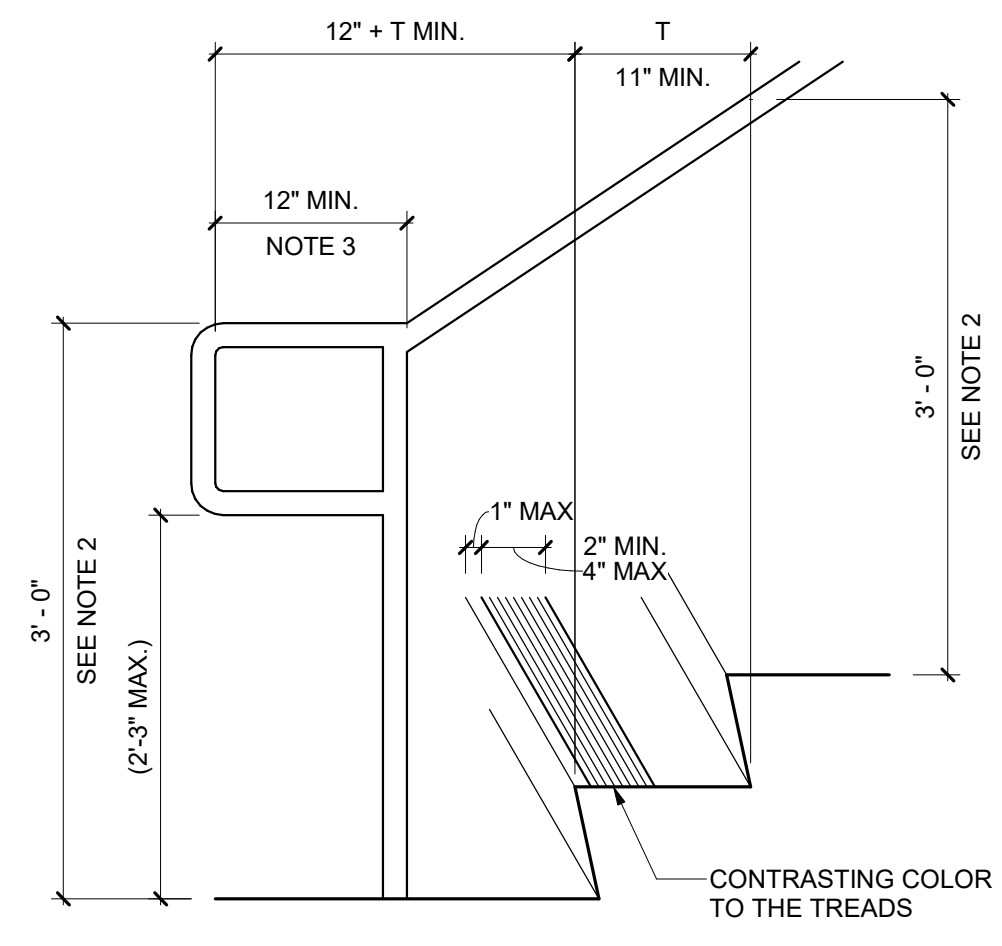


6 ADA SINK CABINET
SCALE: 1/2" = 1'-0"

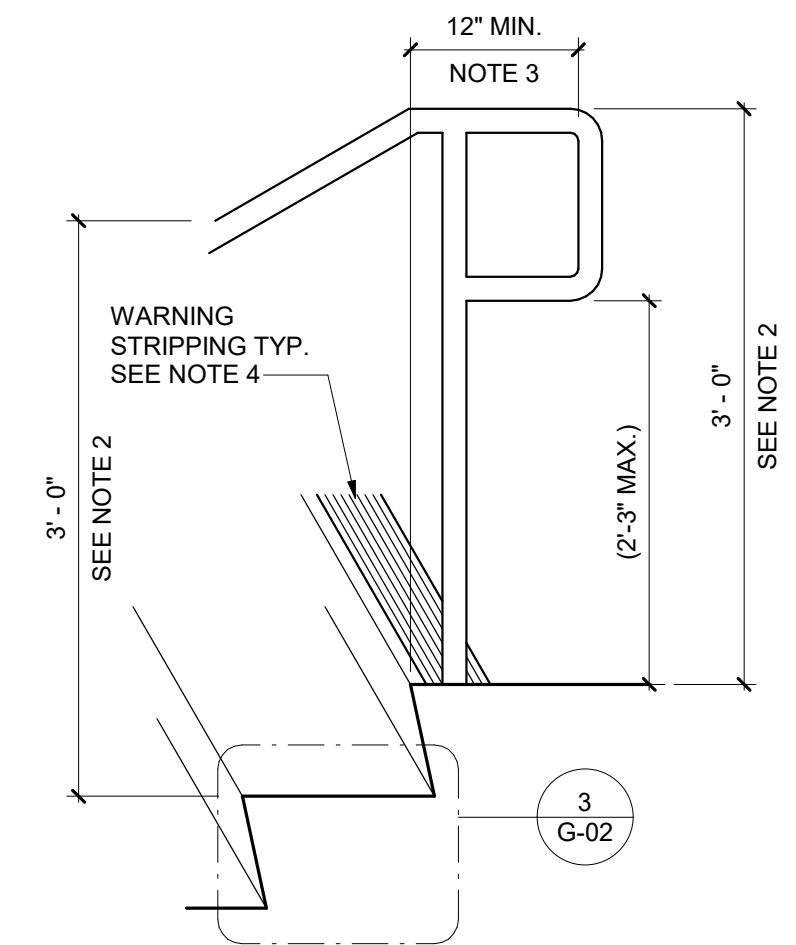


- NOTES:**
- 4'-11" MIN. CLEAR @ FLOOR MOUNT WATER CLOSET
4'-8" MIN. CLEAR @ WALL MOUNT WATER CLOSET
 - DESIGN REQUIREMENT 1'-6" (CODE ALLOWABLE 1'-5" TO 1'-7")

5 CLEARANCES AT WATER CLOSET
SCALE: 1/2" = 1'-0"



BOTTOM LANDING

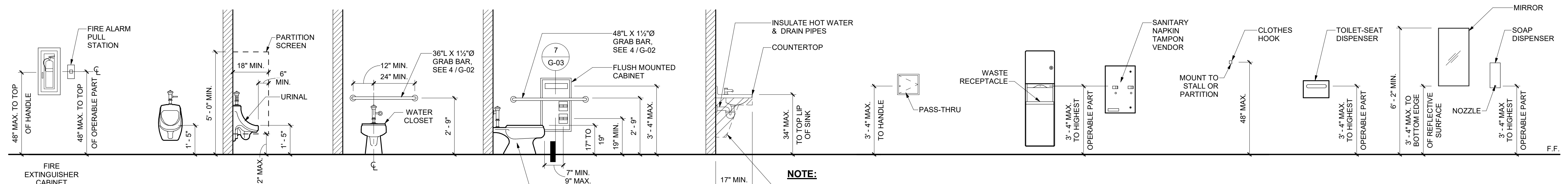


TOP LANDING

2 STAIR REQUIREMENTS
SCALE: 1" = 1'-0"

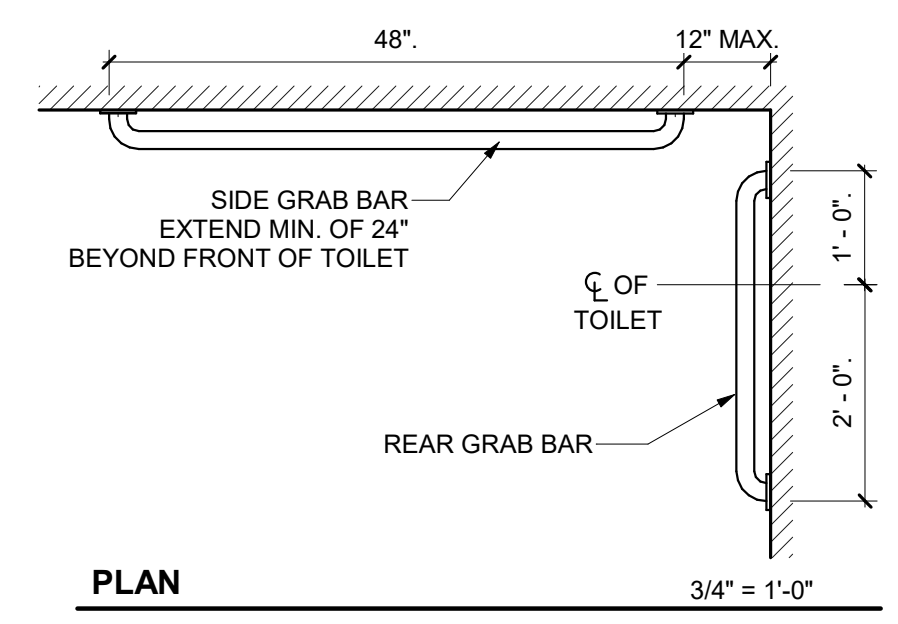
- NOTES:**
- ACCESSIBLE REQUIREMENTS ONLY. SEE STAIR DRAWING SHEETS FOR ACTUAL HANDRAIL, TREAD, AND RISER DESIGN. ALL HANDRAIL EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
 - DESIGN REQUIREMENT 3'-0" (CODE ALLOWABLE 3'-4" TO 3'-8")
 - AT TOP LEVEL PORTION OF RAIL TO EXTEND HORIZONTALLY FROM FACE OF LANDING. AT BOTTOM LEVEL PORTION OF RAIL TO BE AT A HEIGHT EQUAL TO THAT OF THE SLOPING PORTION OF THE HANDRAIL AS MEASURED ABOVE THE STAIR NOSINGS.
 - AT EXTERIOR STAIRS PROVIDE WARNING STRIPE ON ALL TREADS.

1 TYPICAL MOUNTING HEIGHTS
SCALE: 3/8" = 1'-0"

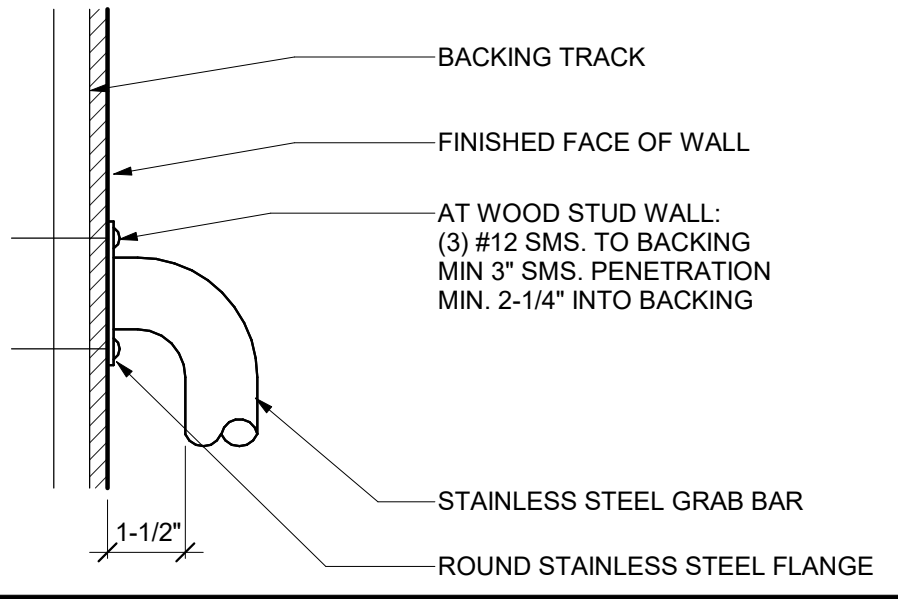


NOTE:
FOR WHEEL CHAIR CLEARANCES REFERENCE DETAIL: - / - -

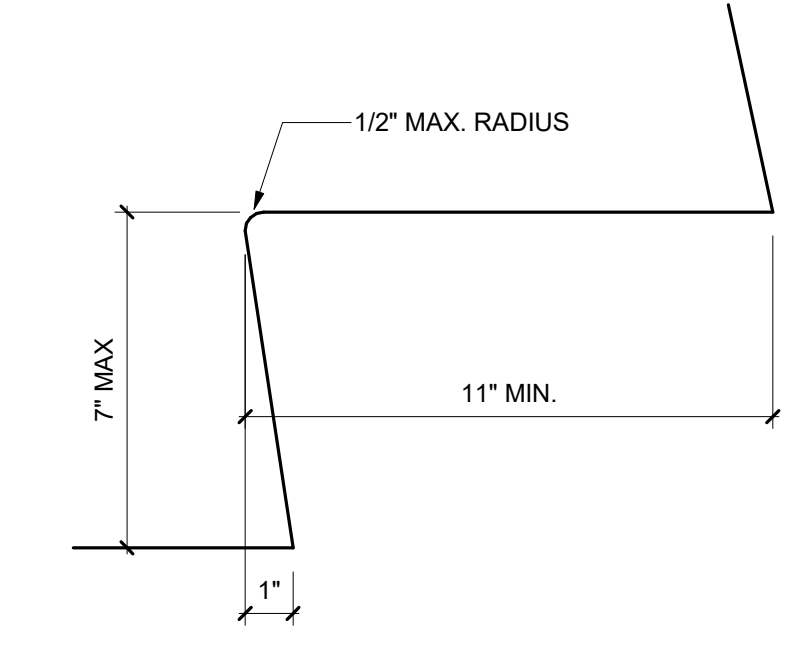
NOTE:
FOR CLEARANCES REFERENCE DETAIL: 5 / G-02



PLAN

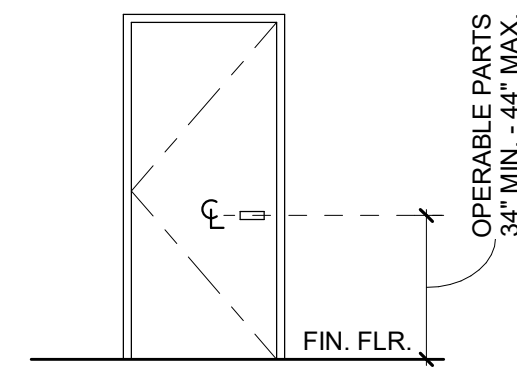


4 TYPICAL GRAB BAR RAILS
SCALE: 3" = 1'-0"

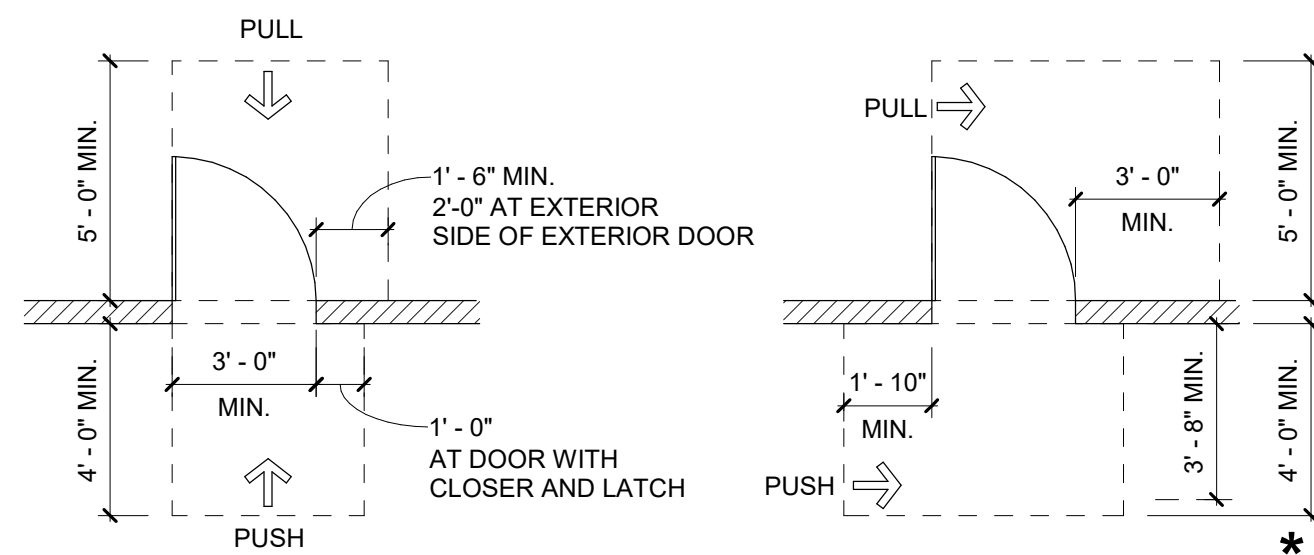


NOTE: NOTED DIMENSIONS ARE FOR STAIR AND RISER MINIMUM AND MAXIMUMS - SEE STAIR DRAWINGS FOR ACTUAL REQUIREMENTS.

3 STAIR TREAD
SCALE: 3" = 1'-0"

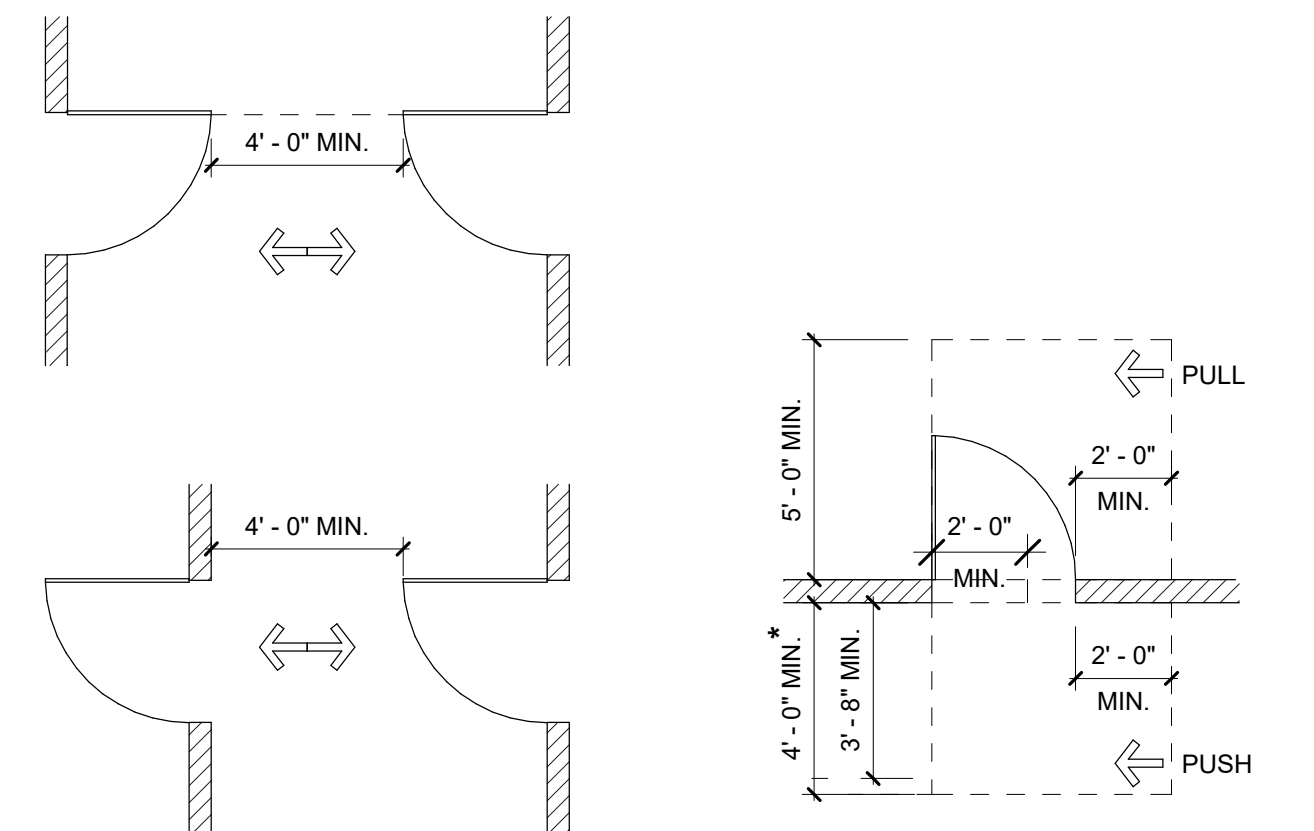


DOOR HARDWARE



FRONT APPROACH

SIDE APPROACH-HINGE



IN SERIES

SIDE APPROACH-LATCH

7 ADA DOORS AND GATES *AT DOOR WITH LATCH AND CLOSER
SCALE: 1/4" = 1'-0"



DESIGNER:
Juan Guzman 626.388.7389

PROJECT NAME
BUSINESS OCCUPANCY PERMIT / SECOND HAND DEALER ZONING C-3
3229 DURFEE AVE.
EL MONTE, CA, 91732

SHEET TITLE
ACCESSIBILITY STANDARDS

ISSUE Checker

Author

DRAWN BY:

CHECKED BY:

SCALE:

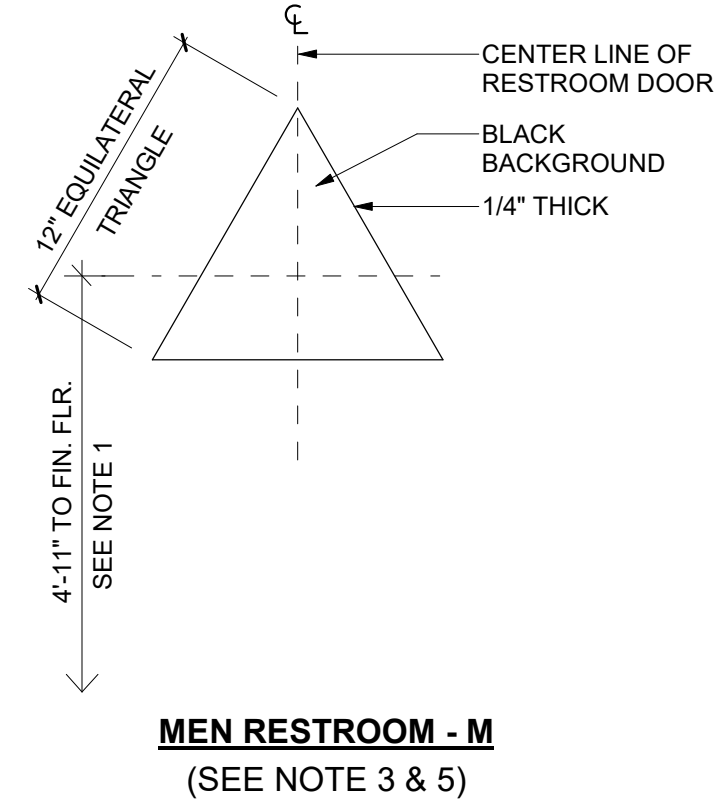
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SHEET NUMBER

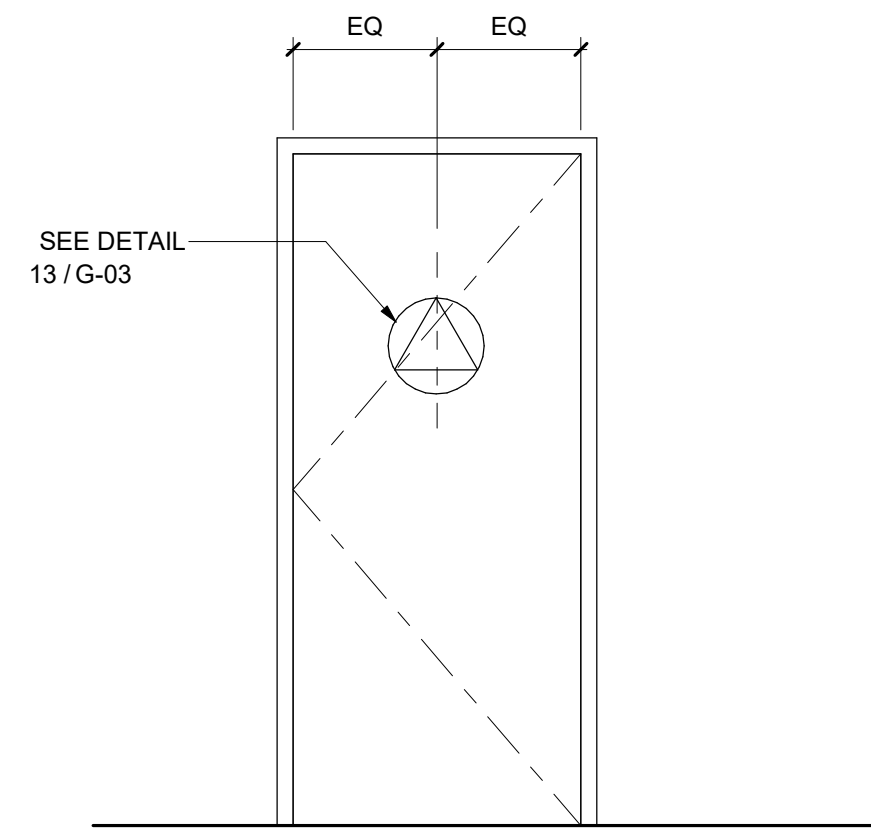
G-02

OF

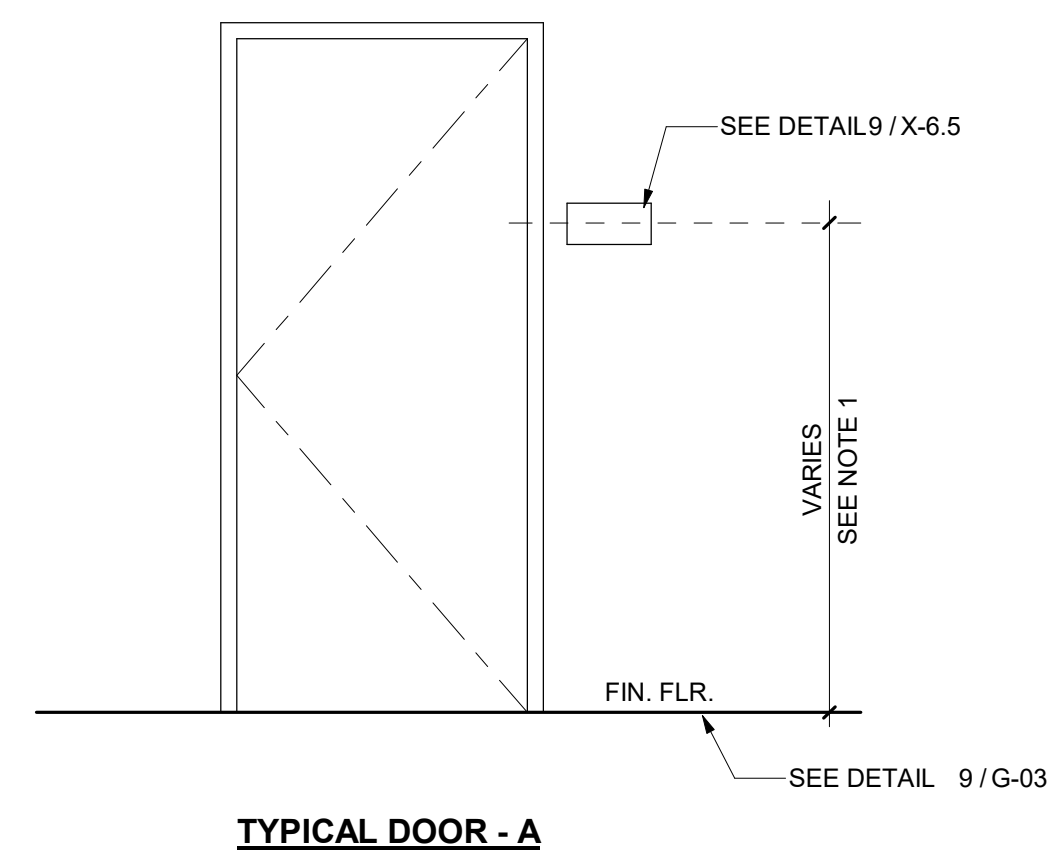
- DOORWAYS LEADING TO TOILET ROOMS AND BATHING ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL MOUNTED AT 58" MINIMUM AND 60" MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED FROM THE CENTERLINE OF THE SYMBOL. WHERE A DOOR IS PROVIDED THE SYMBOL SHALL BE MOUNTED WITHIN 1" OF THE VERTICAL CENTERLINE OF THE DOOR. CBC 11B-703.7.2.6
- WOMEN'S TOILET AND BATHING FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4" THICK AND 12" IN DIAMETER. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. CBC 11B-703.7.2.6.2
- MEN'S TOILET AND BATHING FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE, 1/4" THICK WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. CBC 11B-703.7.2.6.1
- SINGLE OCCUPANT TOILET AND BATHING FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4" THICK AND 12" IN DIAMETER WITH A 1/4" THICK TRIANGLE WITH A VERTEX POINTING UPWARD SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12-INCH DIAMETER. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE SYMBOL, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. CBC 11B-703.7.2.6.3
- EDGES SHALL BE BEASED OR ROUNDED AT 1/16-INCH MIN. OR CHAMFERED AT 1/8-INCH MAXIMUM. CBC 11B-703.7.2.6.4



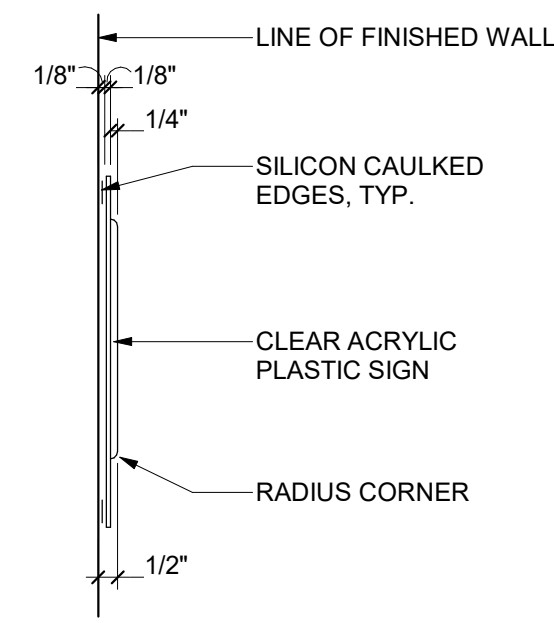
13 RESTROOM GEOMETRIC SYMBOLS
SCALE: 3/4" = 1'-0"



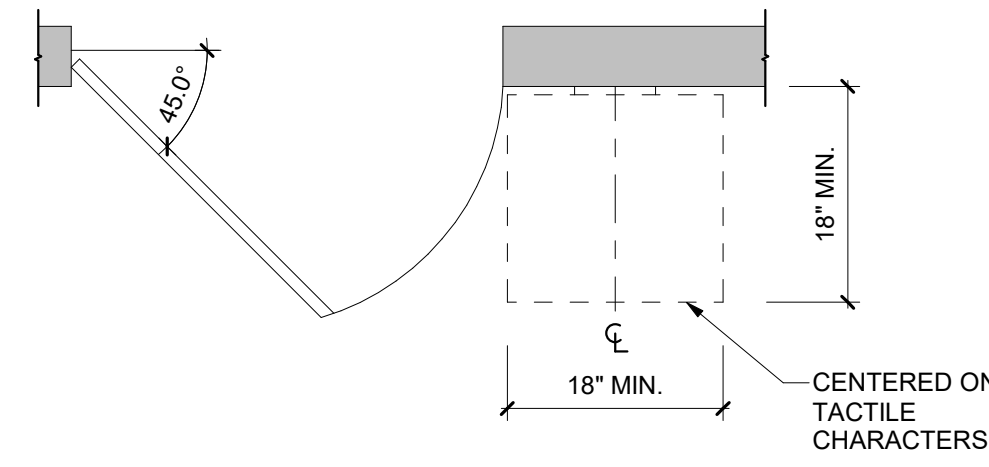
12 ACCESSIBLE RESTROOM DOOR
SCALE: 1/2" = 1'-0"



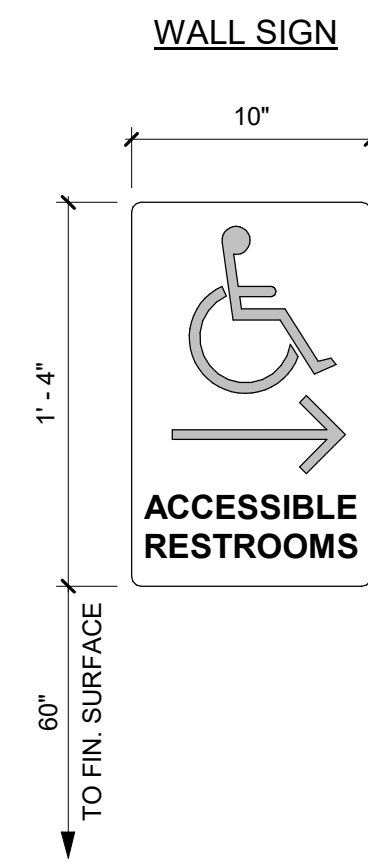
11 TYPICAL SIGN MOUNTING
SCALE: 1/2" = 1'-0"



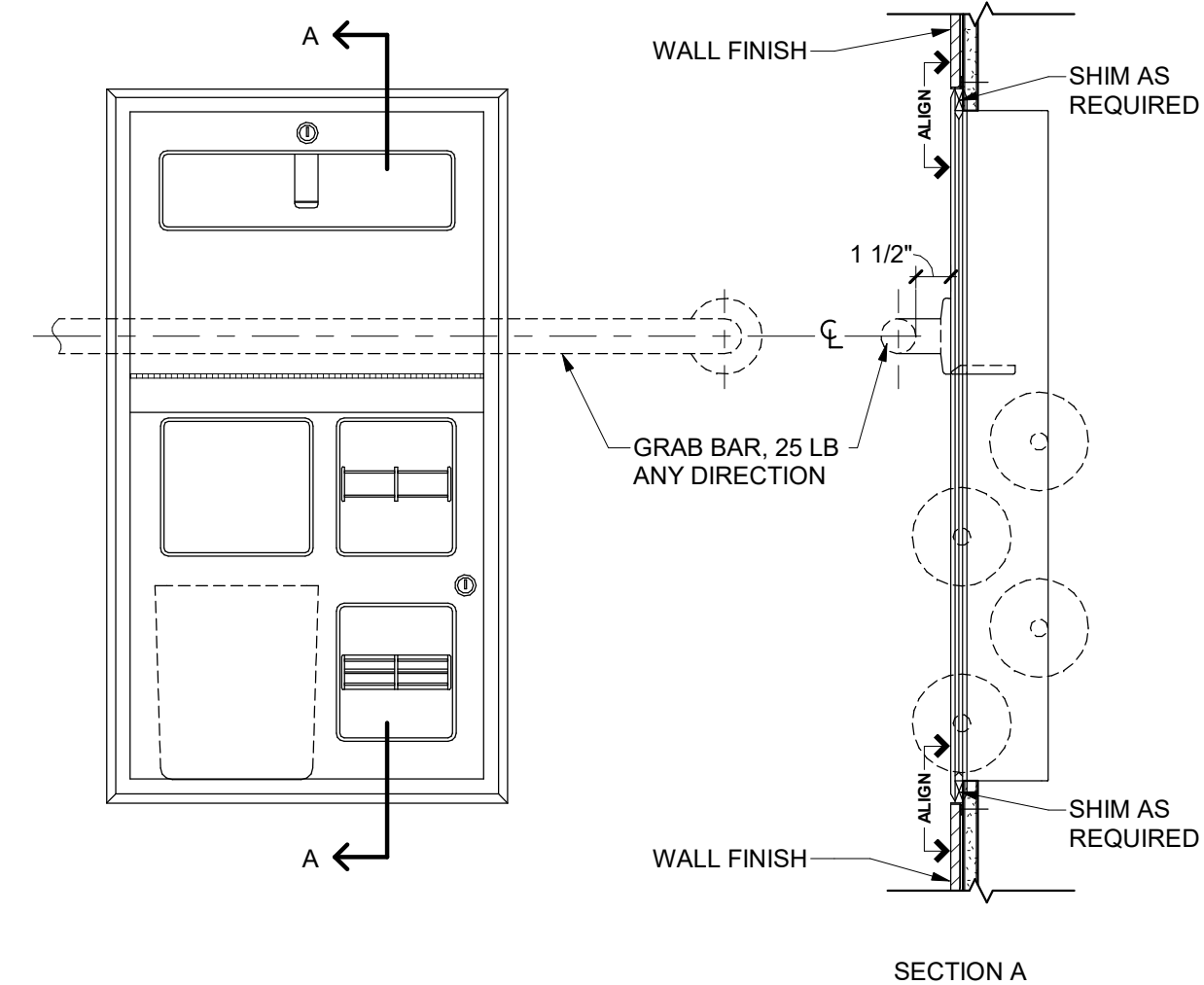
10 SIGN INSTALLATION
SCALE: 1/2" = 1'-0"



9 LOCATION OF TACTILE SIGNS AT DOORS
SCALE: 3/4" = 1'-0"

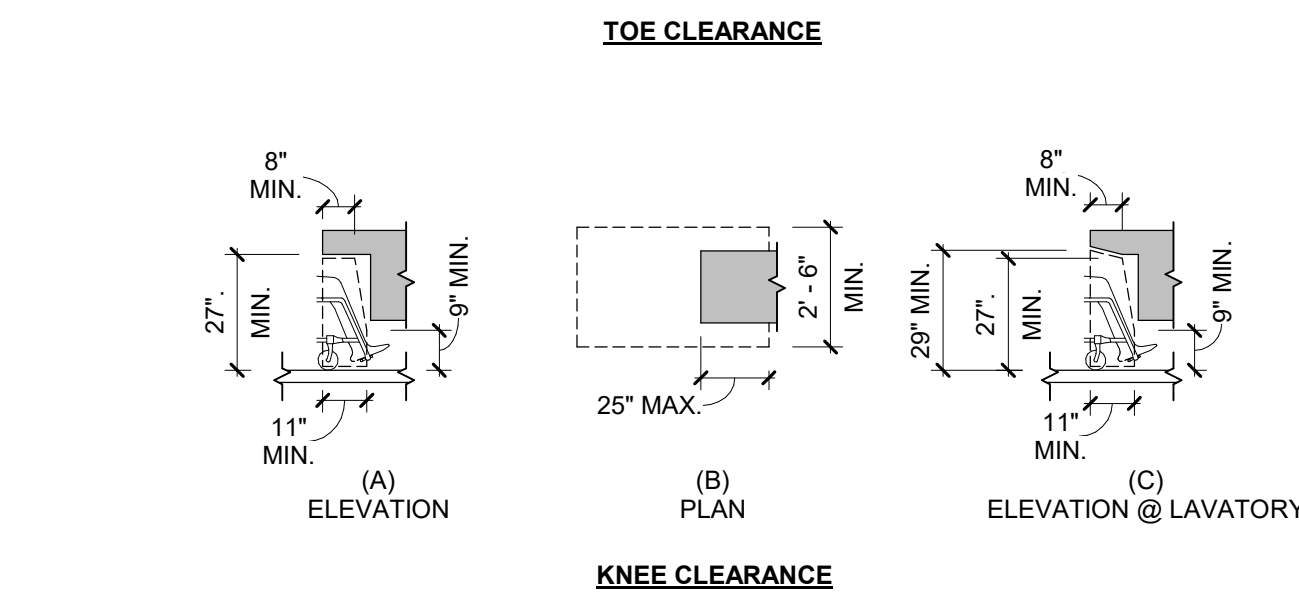


8 ACCESSIBLE DIRECTIONAL SIGNAGE
SCALE: 1 1/2" = 1'-0"

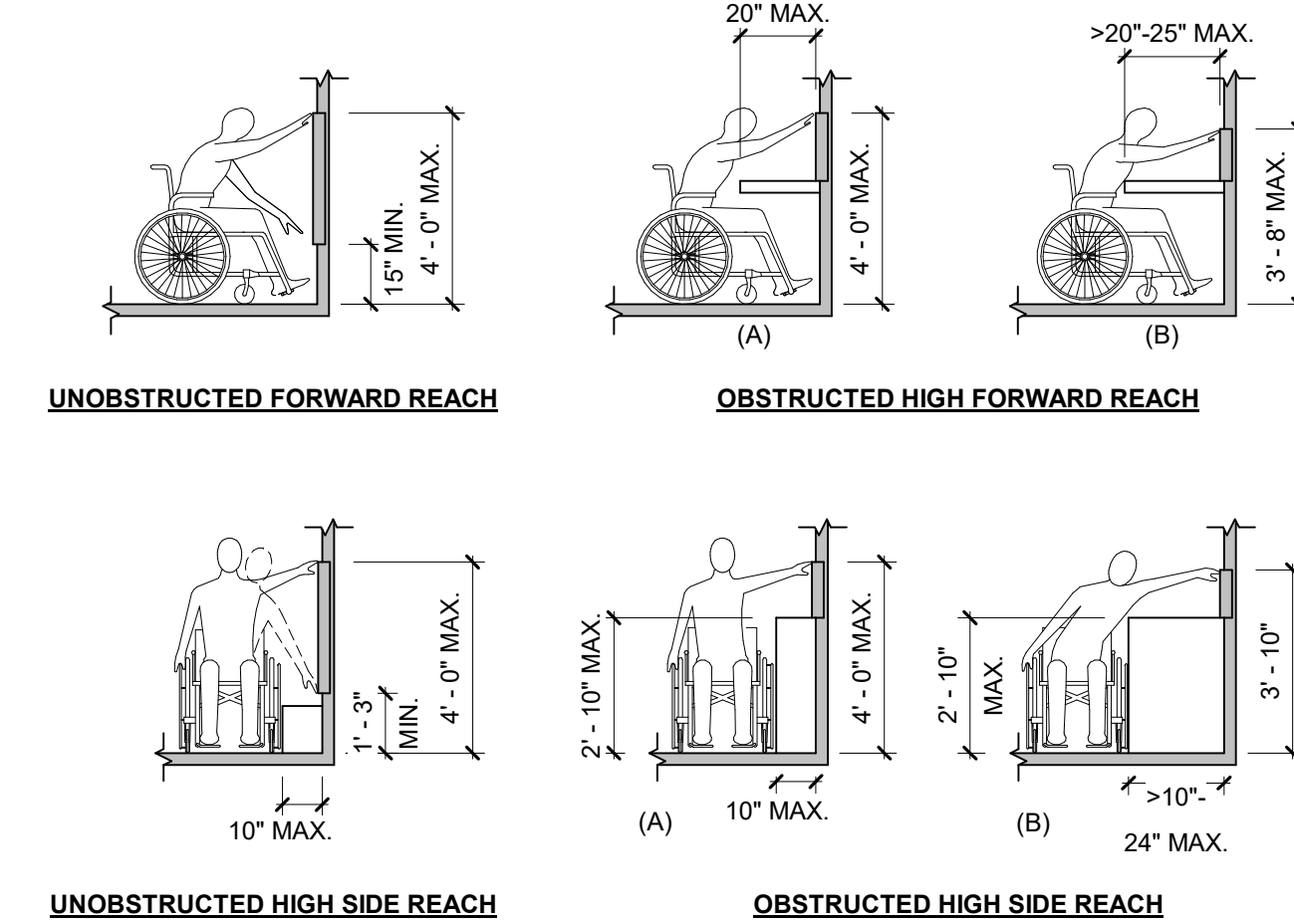


7 RECESSED SEAT-COVER DISPENSER
SCALE: 1 1/2" = 1'-0"

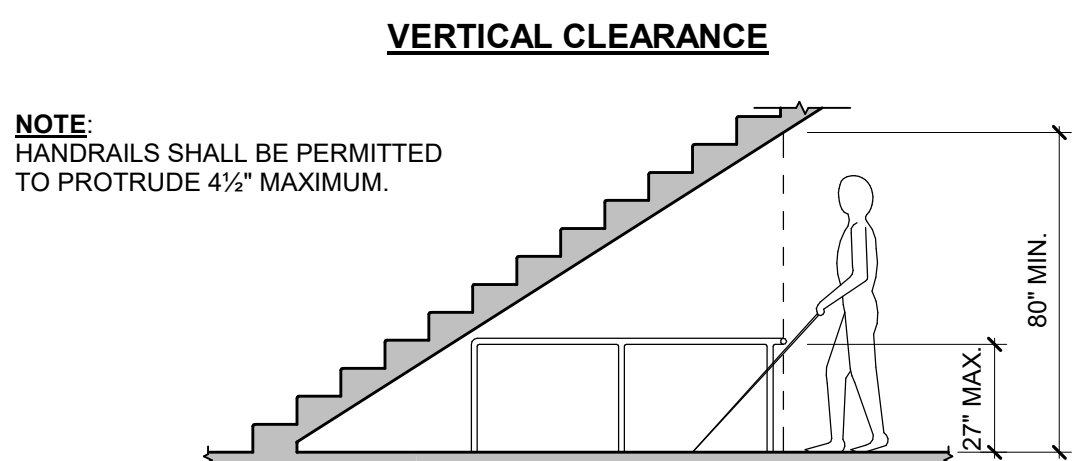
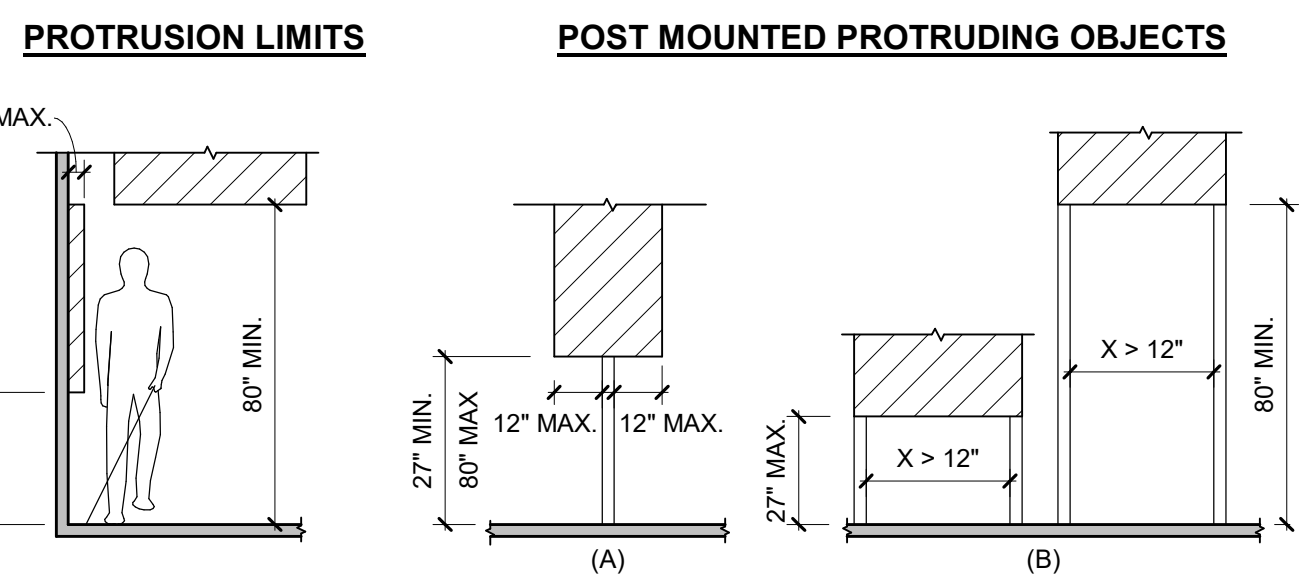
- NOTES:**
- ATTACH SIGN WITH ADHESIVE ONLY AND CAULK EDGES WITH CLEAR SILICON. SIGN SHALL BE CENTER DOOR AND MOUNTED 60" (1525 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS.
 - CHARACTER HEIGHT, PROPORTION RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGN, FINISH AND CONTRAST, MOUNTING HEIGHT AND LOCATION SHALL COMPLY WITH THE REQUIREMENTS OF CBC.



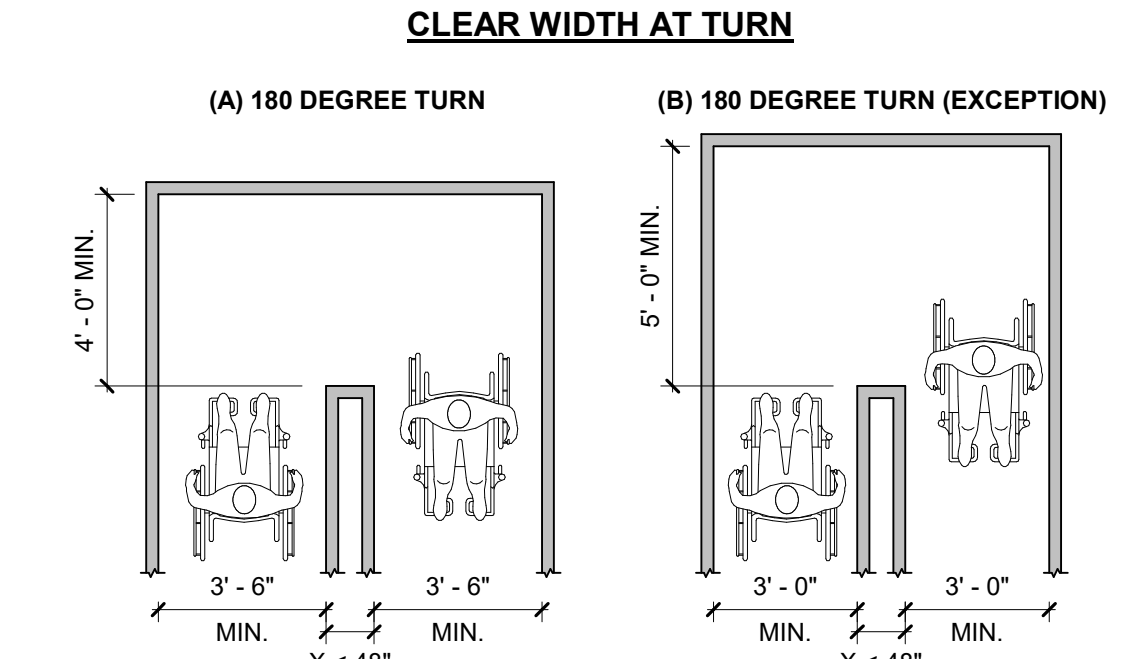
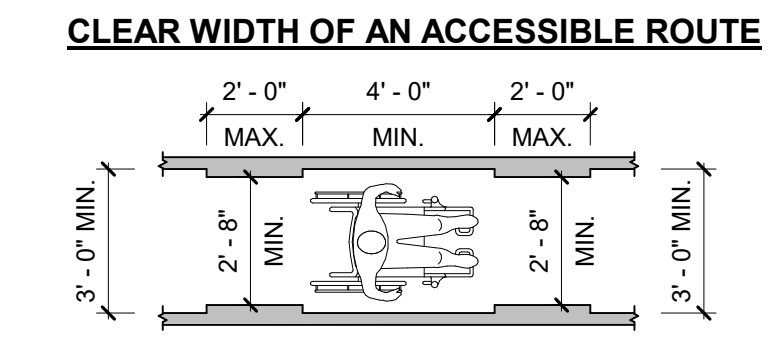
6 KNEE & TOE CLEARANCE
SCALE: 1/4" = 1'-0"



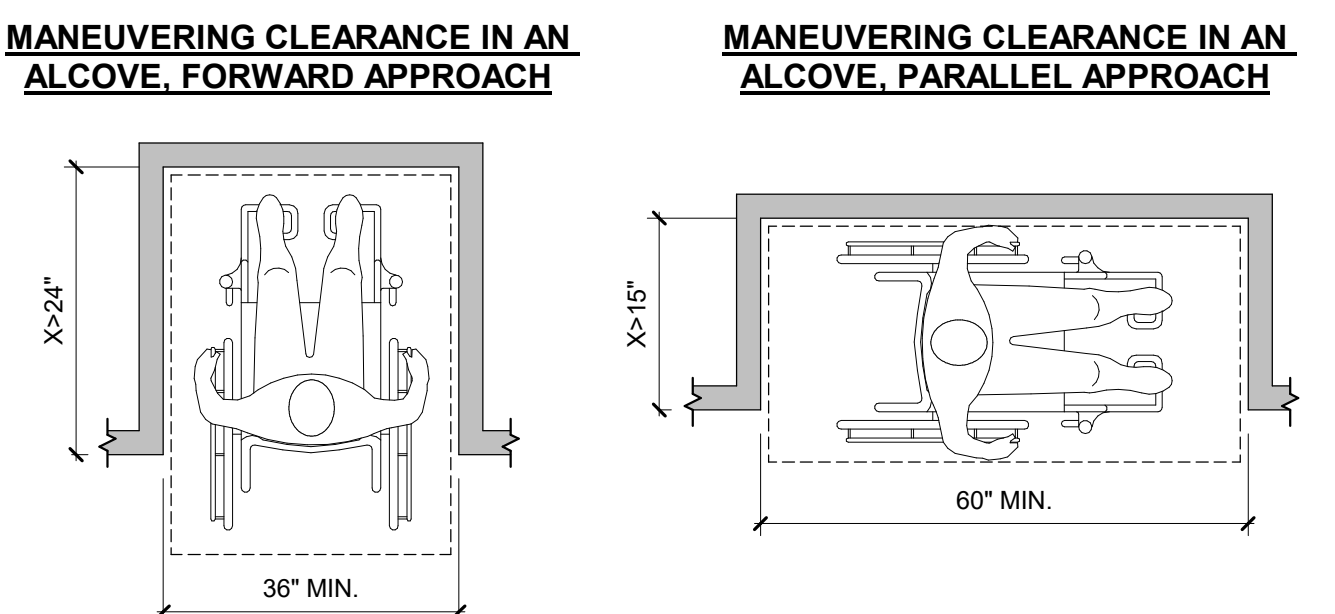
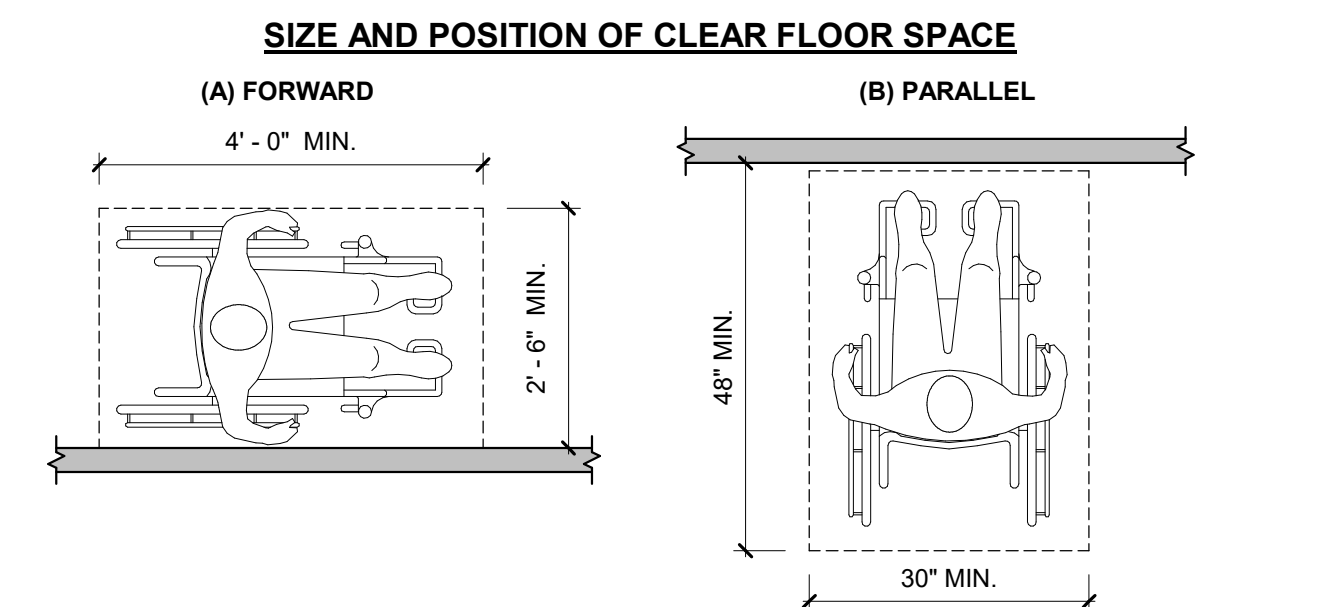
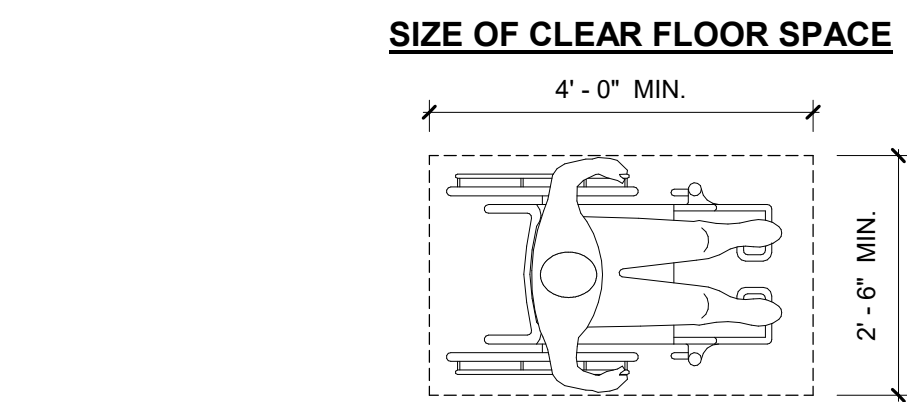
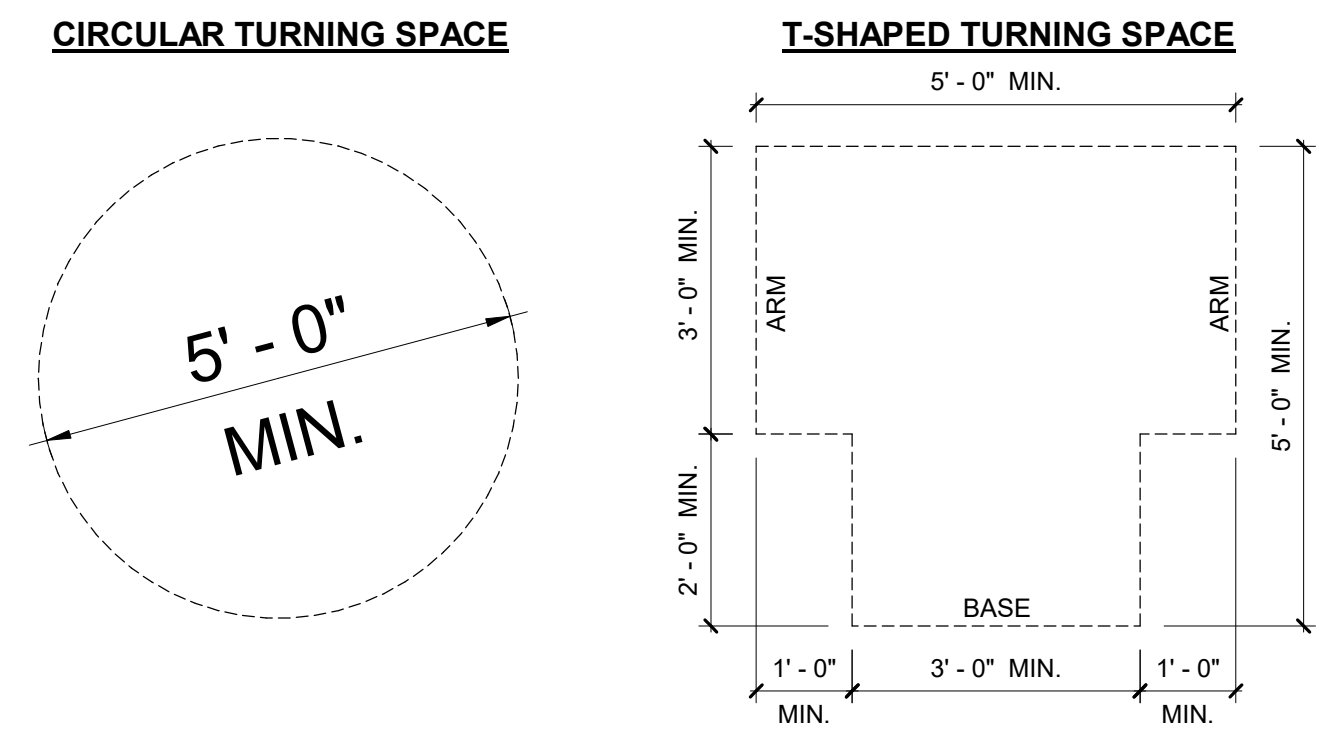
5 ACCESSIBLE REACH REQUIREMENTS
SCALE: 1/4" = 1'-0"



4 PROTRUDING OBJECTS
SCALE: 1/4" = 1'-0"



3 ACCESSIBLE CLEAR WIDTH REQUIREMENTS
SCALE: 1/4" = 1'-0"



1 CLEAR FLOOR/GROUND REQUIREMENTS
SCALE: 1/2" = 1'-0"



DESIGNER: Juan Guzman 626-388-7389

PROJECT NAME
BUSINESS OCCUPANCY PERMIT / SECOND HAND DEALER ZONING C-3
3229 DURFEE AVE.
EL MONTE, CA, 91732

SHEET TITLE
ADDITIONAL ACCESSIBILITY DETAILS

ISSUE _____ Checker _____
Author _____

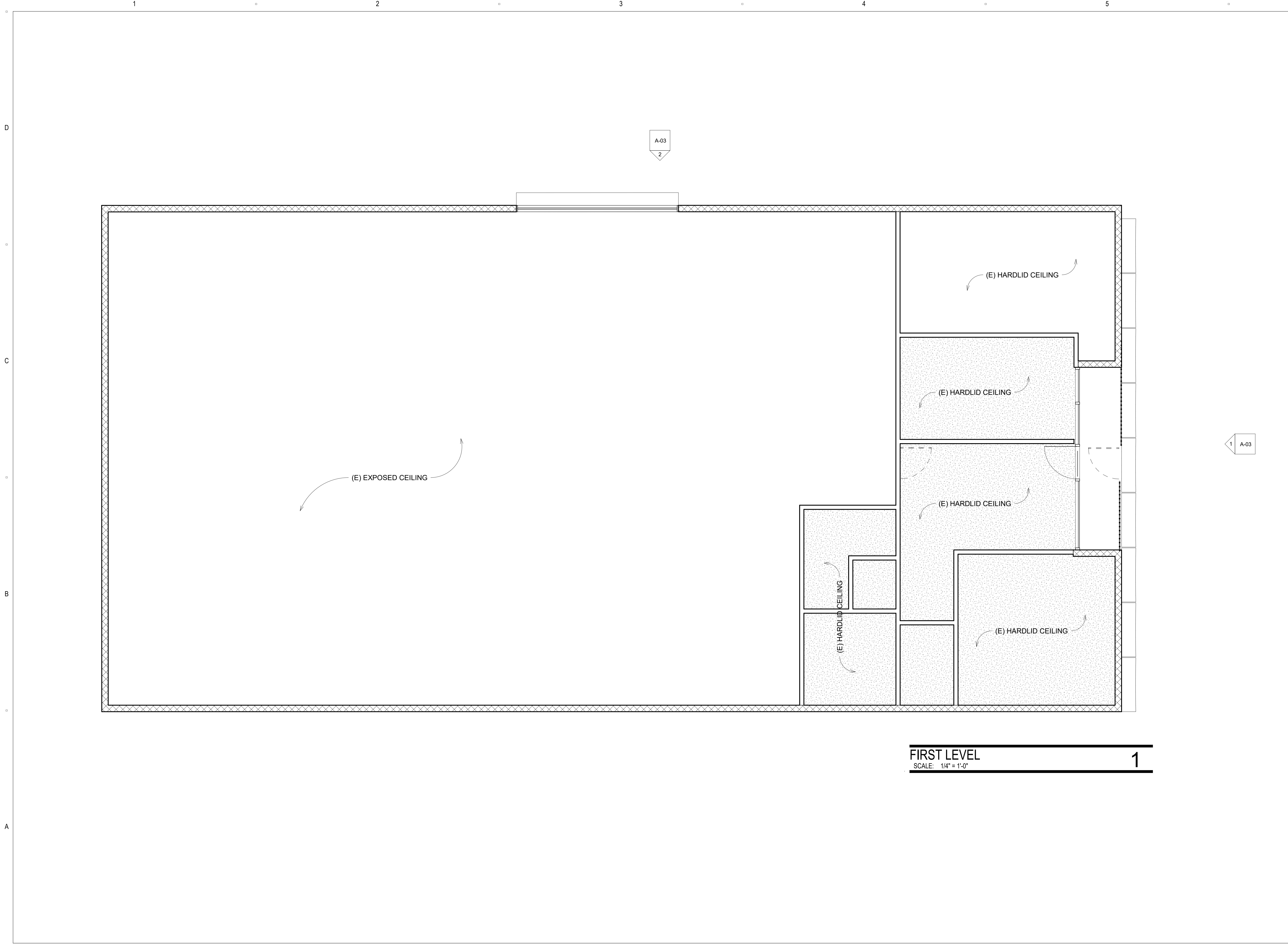
DRAWN BY: _____
CHECKED BY: _____

SCALE: _____
DESIGNER PROJECT NO.: _____

SHEET NUMBER

G-03

OF



FIRST LEVEL
 SCALE: 1/4" = 1'-0" **1**



DESIGNER:
 Juan Guzman 626.388.7389

PROJECT NAME
**BUSINESS OCCUPANCY PERMIT /
 SECOND HAND DEALER / ZONING C-3**
 3229 DURFEE AVE.
 EL MONTE, CA, 91732

SHEET TITLE
**REFLECTED CEILING
 PLAN**

ISSUE _____
 Checker

 Author

DRAWN BY: _____

CHECKED BY: _____

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DESIGNER PROJECT NO.: _____

SHEET NUMBER

A-02

OF _____

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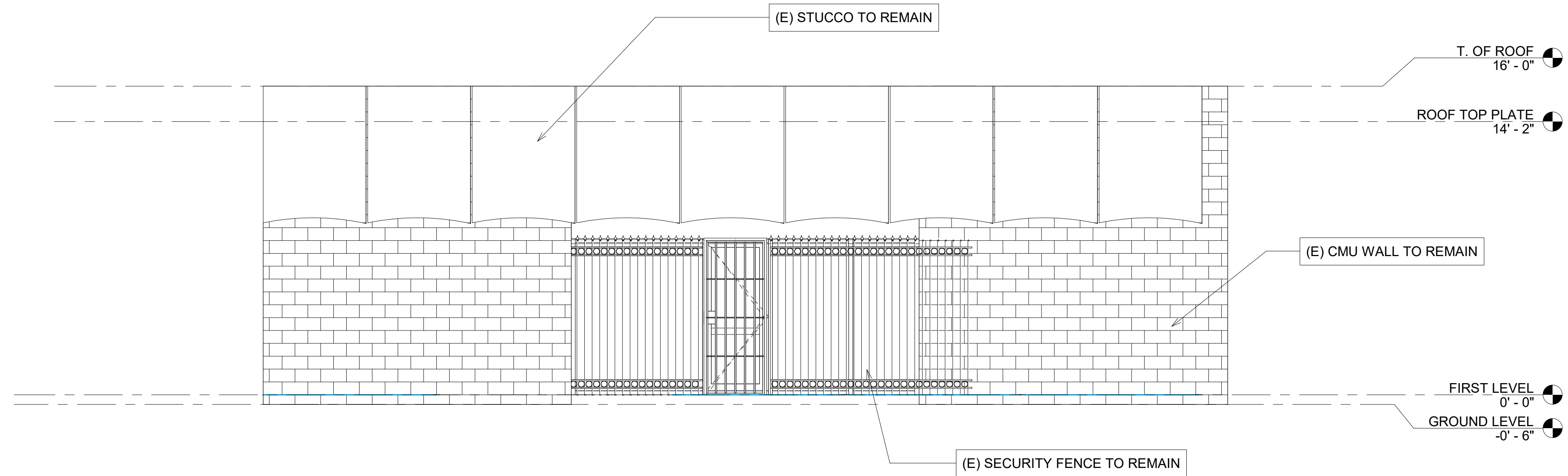
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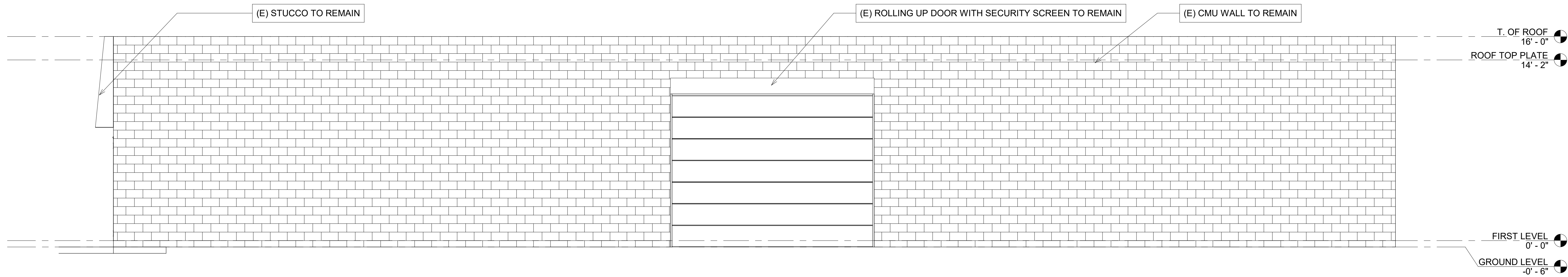
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SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" **1**



EAST ELEVATION
 SCALE: 1/4" = 1'-0" **2**



DESIGNER:
 Juan Guzman 626.388.7389

PROJECT NAME
**BUSINESS OCCUPANCY PERMIT /
 SECOND HAND DEALER /ZONING C-3**
 3229 DURFEE AVE.
 EL MONTE, CA, 91732

SHEET TITLE
ELEVATIONS

ISSUE Checker

Author

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CHECKED BY:

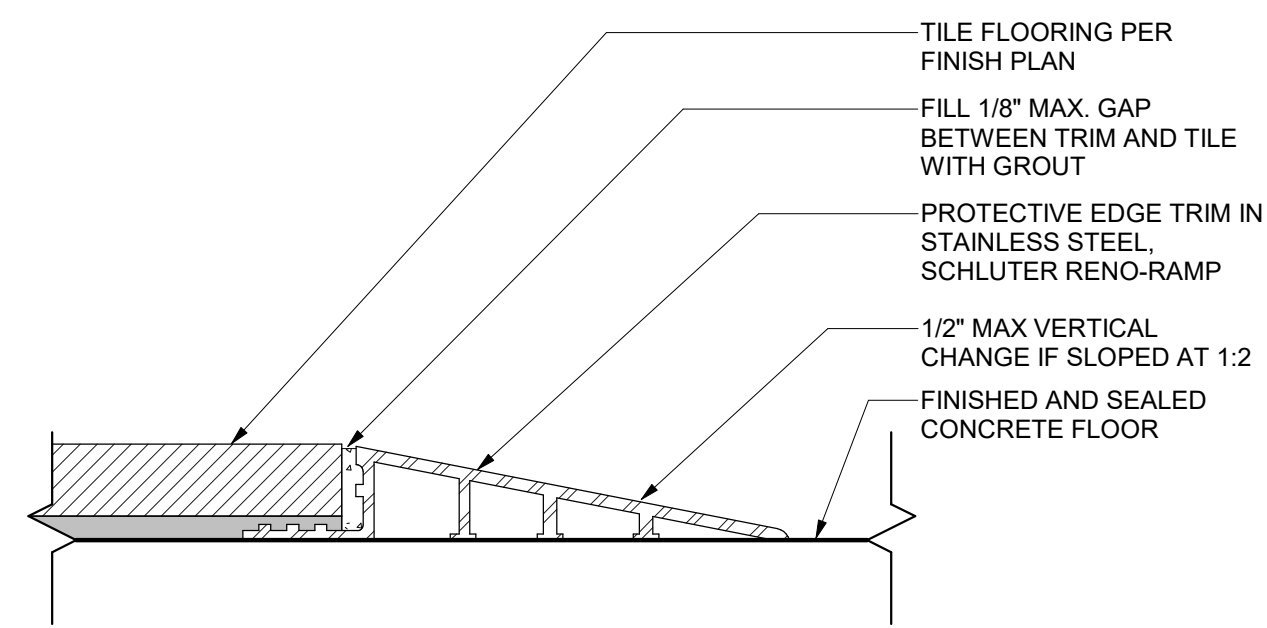
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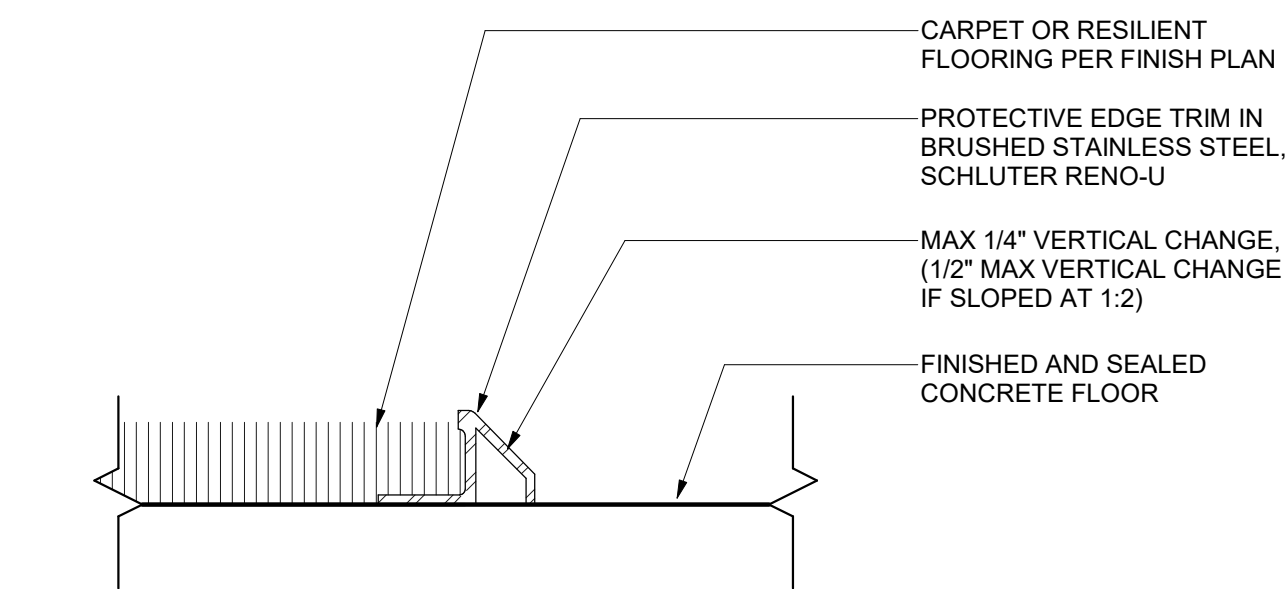
SHEET NUMBER

A-03

OF



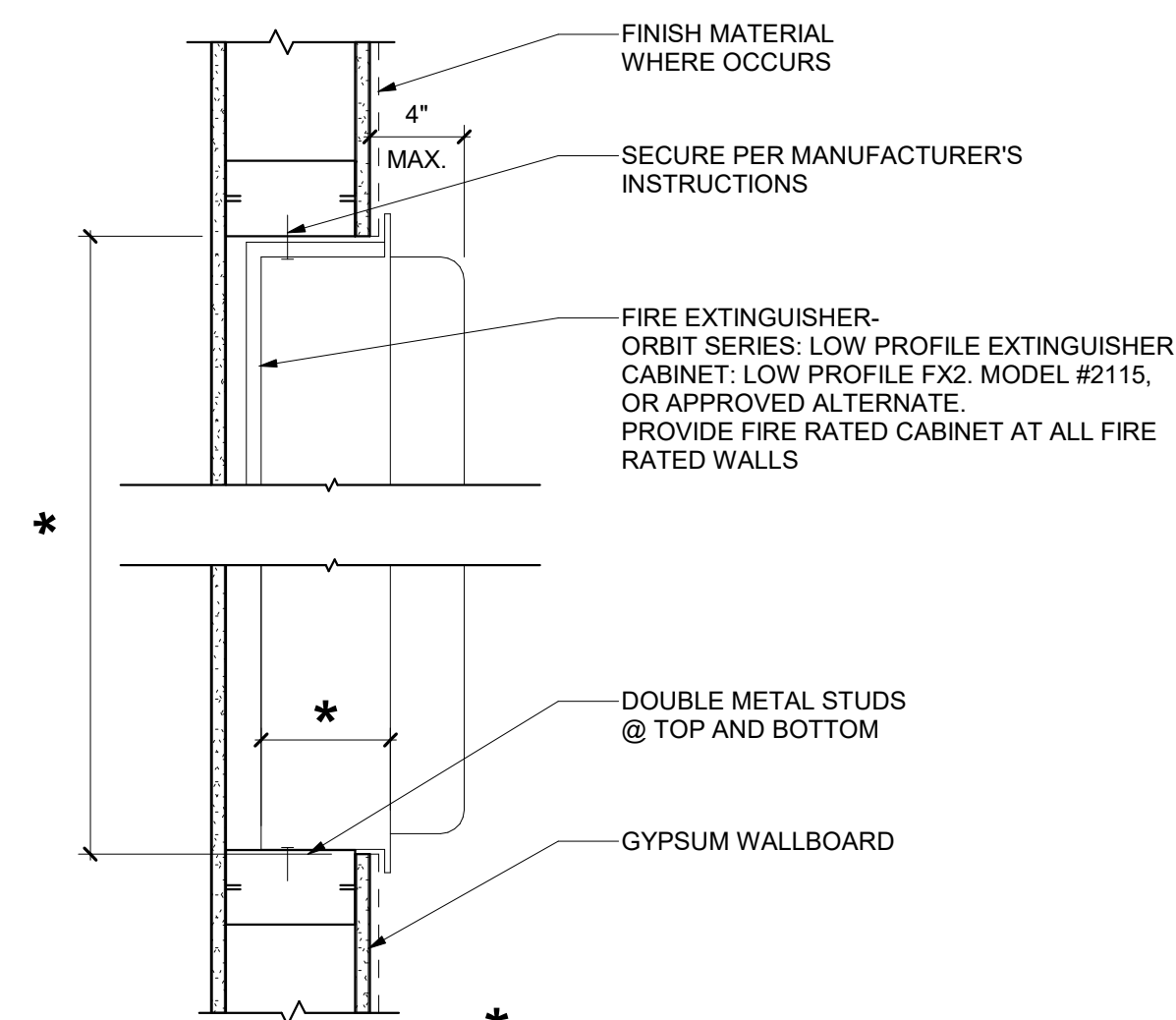
TILE TO CONCRETE



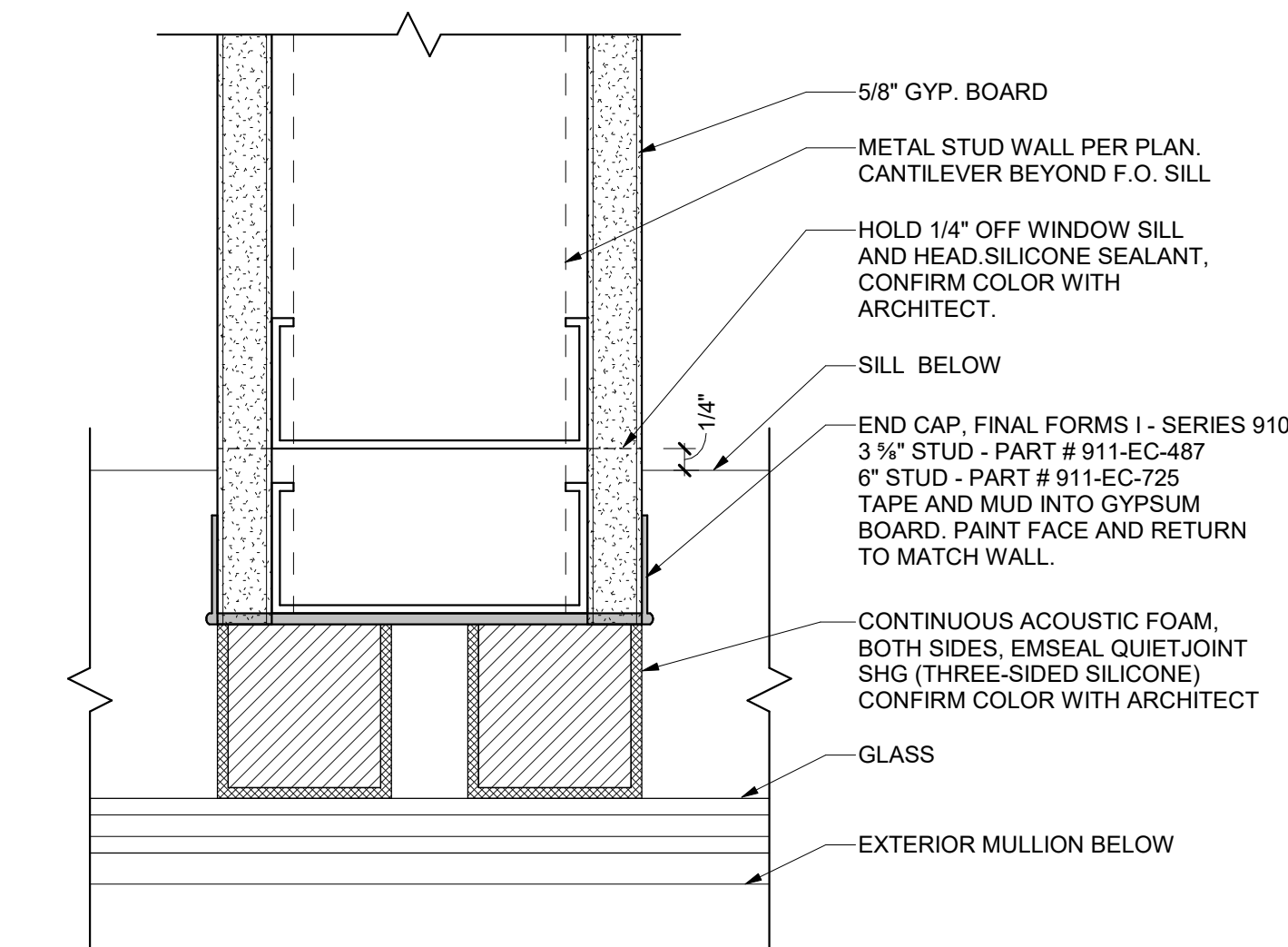
CARPET OR RESILIENT FLOORING TO CONCRETE OR POURED FLOORING

NOTE: FLOORING INSTALLER TO VERIFY HEIGHT FOR ALL FINISH TRANSITION STRIPS BASED ON ADJACENT MATERIALS PRIOR TO PROCUREMENT.

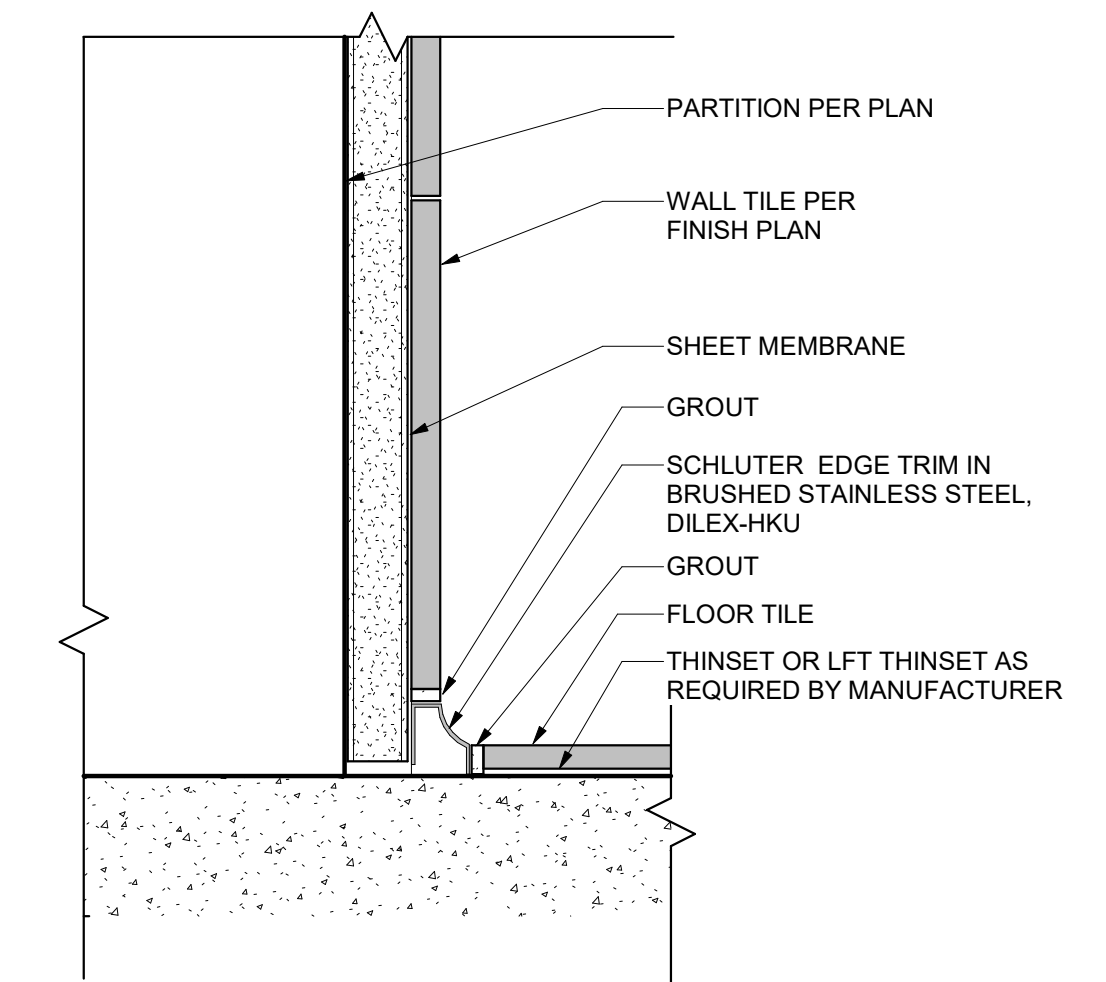
7 FLOOR TRANSITIONS
SCALE: 12" = 1'-0"



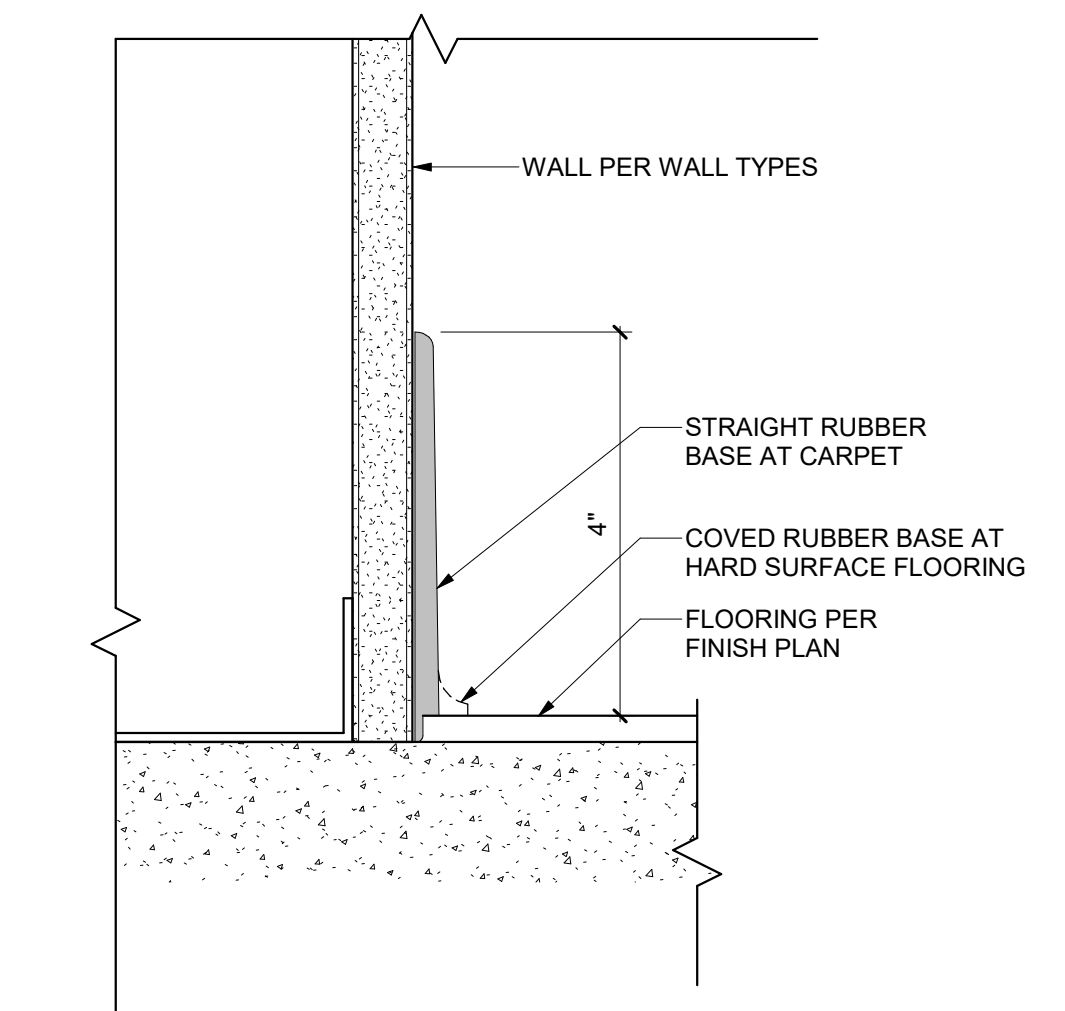
5 FIRE EXTINGUISHER CABINETS
SCALE: 1 1/2" = 1'-0"



4 PARTITION AT GLASS
SCALE: 6" = 1'-0"



2 BASE - SCHLUTER DILEX TRIM
SCALE: 6" = 1'-0"



1 BASE - RUBBER TIGHTLOCK
SCALE: 6" = 1'-0"

PROJECT NAME
**BUSINESS OCCUPANCY PERMIT /
SECOND HAND DEALER ZONING C-3**
3229 DURFEE AVE.
EL MONTE, CA, 91732

SHEET TITLE
INTERIOR DETAILS

ISSUE Checker

Author

DRAWN BY:

CHECKED BY:

SCALE:

DESIGNER PROJECT NO.:

SHEET NUMBER

A-04

OF



DESIGNER:
Juan Guzman 626.388.7389



SITE PLAN PHOTO SURVEY **1**
 SCALE: 1" = 20'-0"



bs
 DESIGNER:
 Juan Guzman 626.388.7389

PROJECT NAME
**BUSINESS OCCUPANCY PERMIT /
 SECOND HAND DEALER / ZONING C-3**
 3229 DURFEE AVE.
 EL MONTE, CA, 91732

SHEET TITLE
**PHOTO SURVEY -
 SITE**

ISSUE Checker
 Author

DRAWN BY:
 CHECKED BY:
 SCALE:
 DESIGNER PROJECT NO.:

SHEET NUMBER
A-05
 OF



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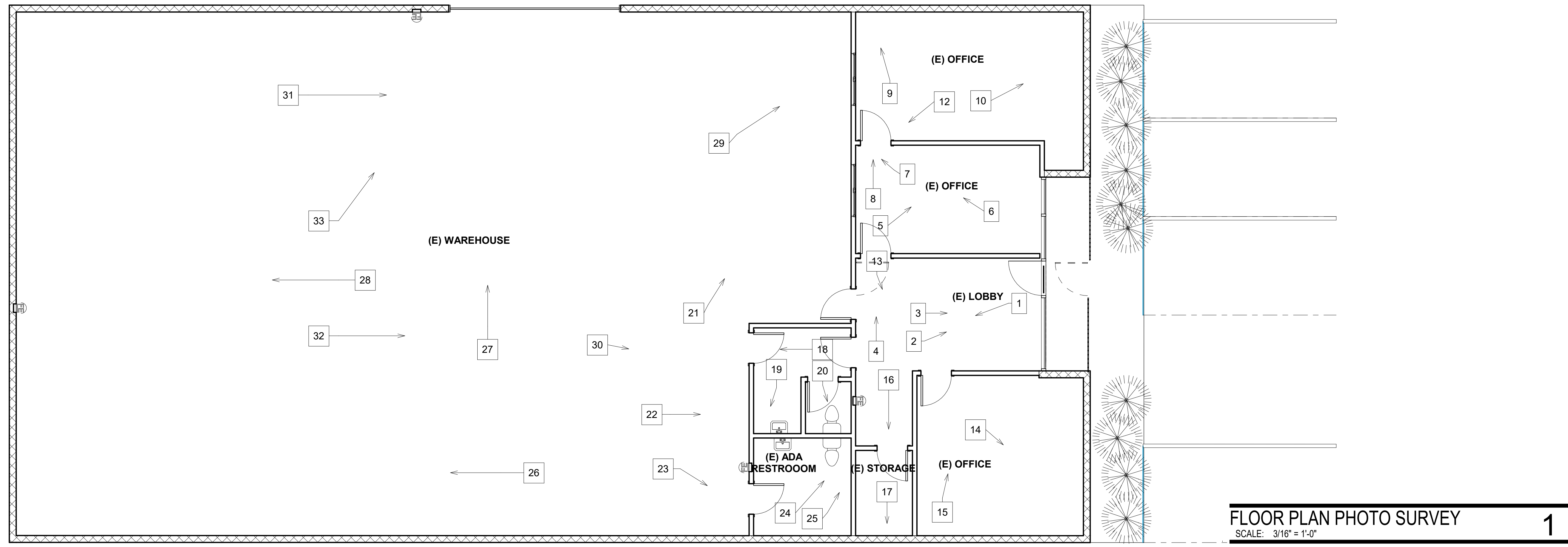
31



32



33



DESIGNER:
Juan Guzman 626.388.7389

PROJECT NAME
**BUSINESS OCCUPANCY PERMIT /
SECOND HAND DEALER /ZONING C-3**
3229 DURFEE AVE.
EL MONTE, CA, 91732

SHEET TITLE
**PHOTO SURVEY -
BUILDING**

ISSUE _____ Checker _____

Author _____

DRAWN BY: _____

CHECKED BY: _____

SCALE: _____

DESIGNER PROJECT NO.: _____

SHEET NUMBER

A-06

OF _____

**CITY OF EL MONTE ZONING REVIEW COMMITTEE
NOTICE OF PUBLIC HEARING**

**Hablamos Español favor de hablar con
Jeni Colon - (626) 258-8626**

TO: All Interested Parties

FROM: City of El Monte Planning Division

PROPERTY LOCATION: 3229 Durfee Avenue / APN: 8565-003-018

APPLICATION: Minor Use Permit (MUP) No. 06-22

REQUEST: The Applicant is requesting approval to establish a 5,000 square foot (SF) secondhand vendor of wholesale electronics. The subject site is located in the C-3 (General Commercial) zone. The MUP request is made pursuant to Chapter 17.123 (Conditional and Minor Use Permits) of the El Monte Municipal Code (EMMC).

APPLICANT: Ivan Moran, Recycle International
3231 Durfee Avenue
El Monte, CA 91732

PROPERTY OWNER: Art Weiss, Inc.
10616 Rush Street
South El Monte, CA 91733

ENVIRONMENTAL DOCUMENTATION: Article 19. Categorical Exemptions – Section 15301 (Class 1 – Existing Facilities) in accordance with the requirements of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended.

PLACE OF HEARING: Pursuant to State Law, the Zoning Review Committee will hold a public hearing to receive testimony, orally and in writing, on the proposed project. The public hearing is scheduled for:

Date: Tuesday, July 26, 2022 (Special Meeting Date)
Time: 6:00 p.m.
Place: El Monte City Hall East – Council Chambers
11333 Valley Boulevard, El Monte, CA 91731

Members of the public wishing to observe the meeting may do so in one of the following ways:

- (1) Attend the meeting in person at the City's Council Chambers. All COVID-19 safety precautions (e.g.- wearing a mask and social distancing) shall be followed at all times.
- (2) Turn your TV to Channel 3;
- (3) Visit the City's website at <http://www.elmonteca.gov/378/Council-Meeting-Videos>; or
- (4) Call-in Conference (669) 444 9171; Meeting ID 819 5313 8958 and then press #. Press # again when prompted for participant ID.

Members of the public wishing to make public comment may do so via the following ways:

- (1) Call-in Conference (669) 444 9171; Meeting ID 819 5313 8958 and then press #. Press # again when prompted for participant ID. Once admitted into the meeting, press *9 to request to speak.
- (2) Email – All interested parties can submit questions/comments in advance to the Planning Division's general email address: planning@elmonteca.gov. All questions/comments must be received by the Planning Division no later than 3:00 pm, July 26, 2022.

The staff report on this matter will be available on or about July 21, 2022, on the City of El Monte website, which may be accessed at <https://www.ci.el-monte.ca.us/AgendaCenter/Planning-Commission-2> or by e-mailing aperez@elmonteca.gov.

Americans With Disabilities Act

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Office by calling (626) 580-2016. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Persons wishing to comment on the environmental documentation or proposed application may do so in writing prior to the meeting date and must be received by 3:00 p.m., the day of the meeting. Public Comments of no more than 3-minutes shall be read into the record. Written comments shall be sent to Adrian Perez; El Monte City Hall West; 11333 Valley Boulevard; El Monte, CA 91731 or at aperez@elmonteca.gov. If you challenge the decision of the City Zoning Review Committee, in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Zoning Review Committee at, or prior to, the public hearing. For further information regarding this application please contact Adrian Perez, Assistant Planner at (626) 258-8808. Monday through Thursday, except legal holidays, between the hours of 7:00 a.m. and 5:30 p.m.

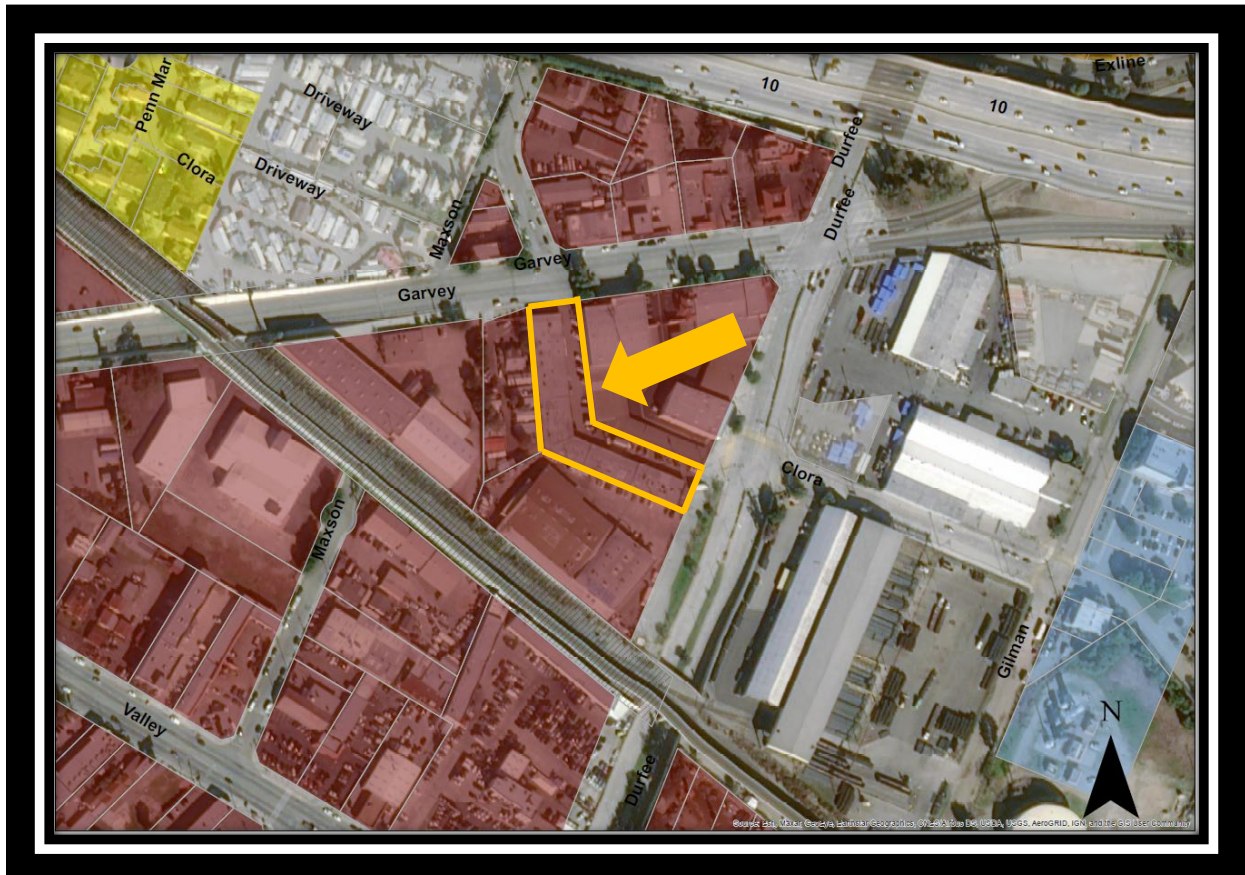
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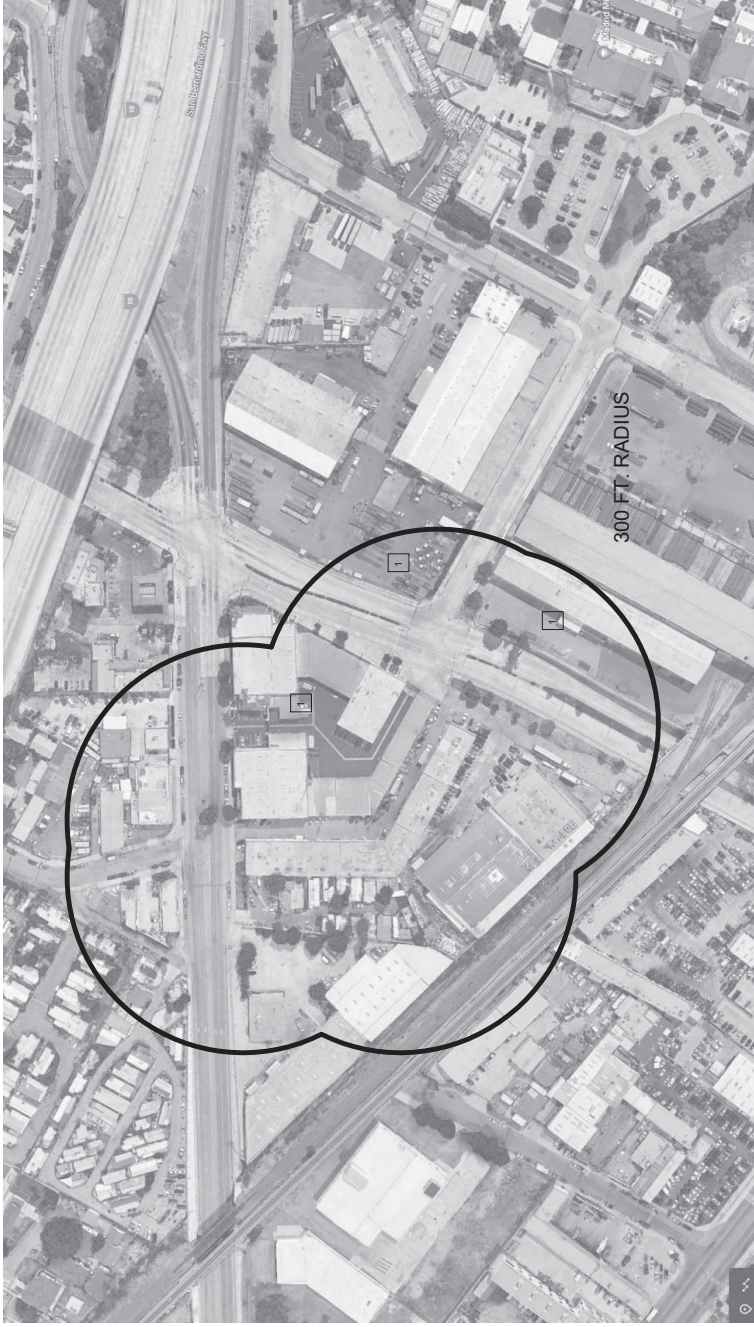
Thursday, July 14, 2022
Wednesday, July 13, 2022

City of El Monte Zoning Review Committee
Sandra Elias, Zoning Review Committee Secretary

LOCATION MAP

MINOR USE PERMIT NO. 06-22
3229 DUREE AVENUE / APN: 8565-003-018





1 2 3 4 5

1 2 3 4 5

VICINITY
SCALE: 1"=100' 1


VICINITY
SHEET TITLE

PROJECT NAME
3229 DURFEE AVE.
EL MONTE, CA, 91732
BUSINESS OCCUPANCY PERMIT /
SECOND HAND DEALER /ZONING C-3

DESIGNER
Juan Guzman 626.388.7389



ISSUE _____ Checker
Author _____
DRAWN BY: _____
CHECKED BY: _____
SCALE _____
DESIGNER PROJECT NO.: _____
SHEET NUMBER
T-03
OF



**NOTICE OF
PUBLIC HEARING**

CITY OF EL MONTE ECONOMIC DEVELOPMENT DEPARTMENT

DO NOT REMOVE



TO: ZONING REVIEW COMMITTEE

FROM: BETTY DONAVANIK
COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR

JASON C. MIKAELIAN, AICP
DEPUTY DIRECTOR

BY: ADRIAN V. PEREZ
ASSISTANT PLANNER

SUBJECT: MINOR USE PERMIT (MUP) NO. 02-22

LOCATION: 3144 SANTA ANITA AVENUE/ APN: 8580-017-026

APPLICANT: REGAN YU
11350 VALLEY BOULEVARD
EL MONTE, CA 91731

PROPERTY OWNER: CALIFORNIA PRIMARY CARE PHYSICIANS, EL MONTE GROUP LTD.
1025 W. OLYMPIC BOULEVARD
LOS ANGELES, CA 90015

ENVIRONMENTAL DETERMINATION: ARTICLE 19 CATEGORICAL EXEMPTION - SECTION 15301 (CLASS 1 – EXISTING FACILITIES) IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT OF 1970 AND THE CEQA GUIDELINES, AS AMENDED

RECOMMENDATION: ADOPT A CATEGORICAL EXEMPTION & APPROVE MINOR USE PERMIT NO. 02-22, SUBJECT TO CONDITIONS

REQUEST:

The Applicant is requesting approval of a Minor Use Permit (MUP) to establish a 11,360± square foot (SF) specialized education and training school (Regan Institute) on the 2nd floor of a 22,600 ± SF professional medical office building. The MUP request is made pursuant to Chapter 17.123 (Conditional and Minor Use Permits) of the El Monte Municipal Code (EMMC). The application has been reviewed under the new Zoning Code, adopted by the City Council on June 21, 2022.

SUBJECT PROPERTY:

Location:	North of Laurelhurst Drive, South of Mildred Street
General Plan:	Neighborhood Commercial
Zone:	C-2 (Neighborhood Commercial)
Street Frontage:	Approximately 250 ± feet along Santa Anita Avenue and 170 ± feet along Laurelhurst Drive
Lot Size:	48,605 square feet (1.12 acres)
Existing Site Improvements:	Professional Medical Office Building

SURROUNDING PROPERTIES:

	General Plan:	Zoning:	Land Use:
North:	Neighborhood Commercial	C-2 (Neighborhood Commercial)	Commercial
East:	Low Density Residential	R-1A (One-Family Dwelling)	Residential
South:	Neighborhood Commercial	C-2 (Neighborhood Commercial)	Commercial
West:	Neighborhood Commercial	C-2 (Neighborhood Commercial)	Commercial

AERIAL PHOTO AND ZONING:



3144 Santa Anita Avenue
MUP No. 02-22

BACKGROUND:

The property is currently improved with a 22,600±SF professional medical office building and was constructed in 1986, according to Los Angeles County Assessor records.

DISCUSSION:

Approval of an MUP will allow an 11,360± square foot specialized education and training school to occupy the 2nd floor of an existing 22,600± square foot professional medical office building. Specialized education and training schools may operate within the C-2 (Neighborhood Commercial) zoning district, subject to the approval of an MUP and pursuant to EMMC 17.123. Staff has determined that the proposed project is consistent with the El Monte General Plan policies and Zoning Ordinance requirements, as determined in the Findings.

The current business, Optum, is a professional medical office that formerly occupied both floors of the building. Optum is a clinic that serves the El Monte area as a primary and specialty care facility, Monday through Friday 8:00 a.m. to 5:00 p.m. Optum’s focus is on family medicine, internal medicine, pediatrics, podiatry, orthopedics, pain management, and behavioral health. Optum recently consolidated the practice to the 1st floor and merged with other medical offices, leaving the 2nd floor vacant. Regan Institute is requesting the MUP to occupy the 2nd floor of the building.

Regan Institute currently operates at 11350 Valley Boulevard and is proposing to relocate to 3144 Santa Anita Avenue to continue to provide a specialized education and training school for medical students. Regan Institute offers hands-on education and training for multiple medical professions, including, but not limited to nursing assistants, electrocardiograph technicians, and medical lab technician. Regan Institute offers various courses on Monday through Thursday 5:30 p.m. to 10:30 p.m., and Friday through Sunday 7:00 a.m. to 7:00 p.m.

Special education and training schools require an MUP to review potential issues related to parking, traffic, hours of operation, noise, and other factors. After a thorough review of the application, supplemental documentation, subject property, and surrounding areas, staff has determined that the proposed use will not impose negative impacts to the surrounding context.

FINDINGS OF FACT:

In order to approve the project, the Zoning Review Committee is required to make certain findings. Section 17.123.040 (EMMC) - Necessary conditions outlines the four (4) required findings and conditions to be met in order to approve any MUP:

FINDING:

- A. The Conditional Use Permit or Minor Use Permit will not be detrimental to the public health, safety or welfare or injurious to the subject property or other improvements in the vicinity;

FACT:

The Minor Use Permit to establish a 11,360± square foot specialized education and training school for medical profession will not be detrimental of to the public health, safety, or welfare or injurious to the subject property or other improvements in the vicinity. The business is currently operating at another location and has not demonstrated any negative impacts. The existing use is a medical office and it will have an alternate schedule to the specialized education and training school for medical profession. If the conditions of approval are violated by the Applicant, the City, at its discretion, can have the MUP revisited by the City's Planning Commission for revocation consideration in accordance with Section 17.10.140 of the EMMC.

FINDING:

- B. The proposed use applied for at the location indicated is one (1) for which a Conditional Use Permit or Minor Use Permit is authorized;

FACT:

According to the EMMC, the proposed use may operate within the C-2 (Neighborhood Commercial) zone, subject to approval of a Minor Use Permit.

FINDING:

- C. The subject property for the proposed use is adequate in size and shape to accommodate such use and that all yards, spaces, walls, fences, parking, loading, landscaping and other features required for the proposed use are provided;

FACT:

The Applicant is requesting an MUP to establish a specialized education and training school for medical profession on the 2nd floor of an existing 22,600± square foot building. The subject location operates without interfering or negatively impacting parking near the residential uses in the immediate area. After reviewing the application, supplemental documents, and the EMMC, the proposed specialized education and training school for medical profession would be a suitable use for the subject location. According to Section 17.70.050 of the EMMC and the supplemental documentation, the location would be able to accommodate the projected peak number of students that attend Regan Institute and the professional medical office during peak hours. Therefore, staff has determined that the subject property is adequate in size and shape to accommodate the proposed specialized education and training school for medical profession and all yards, spaces, walls, fences, landscaping, parking, loading and other features provided could adjust to the use.

FINDING:

- D. The subject property abuts streets and highways adequate in width and pavement type to carry the kind of traffic which will be generated by the proposed use;

FACT:

The subject property abuts streets and highways adequate in width and pavement type to carry the kind of traffic which will be generated by the proposed use. According to the El Monte 2011 General Plan, Santa Anita Avenue is identified as a major arterial street and Laurelhurst Avenue is identified as a local street. Furthermore, Santa Anita Avenue is identified as an appropriate principal street for automotive traffic to provide access the property.

FINDING:

- E. The Conditional Use Permit or Minor Use Permit is consistent with the purpose, goals and policies of the City's General Plan, Zoning Code and any applicable Specific Plan.

FACT:

The Minor Use Permit is consistent with the propose, goals, and policies of the City's General Plan, Zoning Code, and any applicable Specific Plan. Policy LU-4.4-Economic Development (located in the El Monte 2011 General Plan), provides support of the development of office, commercial, and industrial uses, both citywide and in strategic areas, that strengthen the economy. According to the El Monte Municipal Code (EMMC), the proposed use would be allowed to operate with an approved MUP, pursuant of EMMC Chapter 17.123.

CONDITIONS OF APPROVAL:

1. The project shall substantially conform to the site plan, floor plan and elevation plans on file with the City's Planning Division and as presented to the Zoning Review Committee on July 26,2022 and as amended herein.
2. The approval of Minor Use Permit No. 02-22 is valid for one (1) year from the date of approval. During this time, the applicant is responsible for obtaining the required City permit(s) for the proposed project.
3. If the applicant has proceeded in good faith toward the implementation of the Conditional Use Permit or Minor Use Permit, as determined by the Community Development Director, the applicant may request a 12-month extension. The applicant shall submit the request prior to the expiration date. The extension shall be considered by the Community Development Director within 30 days of the

request. The applicant may request additional extensions, which shall be considered by the Planning Commission.

4. Plans shall comply with all City Department/Divisions regulations, guidelines, and conditions of approval including Building, Engineering, Planning and the Los Angeles County Fire Department.
5. The project shall conform to the most current California Building Codes including but not limited to the California Green Building Code.
6. The Applicant is required to apply, under a separate review and permit, for a sign permit.
7. All operations of the business shall occur within the confines of the building; and no outside storage is allowed.
8. The Applicant shall apply for addressing to establish a separate tenant space on the second floor.
9. The max peak number of students located on-site shall not exceed 65 persons.
10. Subject to review and applicability by the Community & Economic Development Director, Public Works Director, and the City Attorney and to ensure ongoing compliance with the conditions of approval set forth under this resolution and to ensure that the property and all improvements located thereupon are properly maintained, the applicant (and the owner of the property upon which the authorized use and/or authorized improvements are located if different from the applicant) shall execute a maintenance agreement with the City of El Monte which shall be recorded against the property and which shall be in a form reasonably satisfactory to the City Attorney. The maintenance agreement shall contain covenants, conditions and restrictions relating to the following:
 - a. Compliance with operational conditions applicable during any period(s) of construction or major repair (e.g., proper screening and securing of the construction site; implementation of proper erosion control, dust control and noise mitigation measure; adherence to approved project phasing etc.).
 - b. Compliance with ongoing operational conditions, requirements and restrictions, as applicable (including but not limited to hours of operation, security requirements, the proper storage and disposal of trash and debris, and/or restrictions on certain uses, including uses determined by the Planning Commission (or the City Council upon appeal) to be incompatible or inconsistent with any authorized uses; compliance with applicable State and/or federal statutes and regulations, including but not limited to compliance with statutes and regulations regarding the appropriate operating

guidelines for certain equipment (e.g., emissions standards, radio frequency emissions standards etc.);

- c. Ongoing maintenance, repair and upkeep of the property and all improvements located thereupon (including but not limited to controls on the proliferation of trash and debris about the property; the proper and timely removal of graffiti; the timely maintenance, repair and upkeep of damaged, vandalized and/or weathered buildings, structures and/or improvements; the timely maintenance, repair and upkeep of exterior paint, parking striping, lighting and irrigation fixtures, walls and fencing, publicly accessible bathrooms and bathroom fixtures, landscaping and related landscape improvements and the like, as applicable).

11. All entitlements and permits approved by the City Council, Planning Commission, Zoning Review Committee or Community Development Director (and Public Works Director for permits issued for items in the public right-of-way) shall remain in full force and effect as long as the use, building or structure remains in operation. Any entitlement granted pursuant to EMMC Title 17 is transferable and assignable; however, all successors in interest shall abide by all of the original conditions. Any entitlement or permit granted by aforementioned reviewing body may be revoked or revised for cause if any of the conditions of approval, terms with the maintenance agreement, or terms of the permit are violated or if any law or ordinance is violated, pursuant to Section 17.10.040 (EMMC).

12. A copy of the final decision letter with the conditions of approval shall be submitted with any building plans.

RECOMMENDATION:

Staff recommends that the Zoning Review Committee evaluate the proposal and consider the following Action:

- 1. Adopt a Categorical Exemption under Section 15301 (Class 1– Existing Facilities) pursuant to the California Environmental Quality Act and Guidelines, as amended and;
- 2. Adopt the finding of Facts to approve Minor Use Permit No. 02-22, subject to the conditions of approval.

ATTACHMENTS:

- A. Project Plans
- B. Public Hearing Notice
- C. Radius Map
- D. Site Posting Photo

PROPOSED RENOVATION OF ROOM LAYOUT THE EXISTING 2-STORY BUILDING

C.U.P. REQUEST

3144 SANTA ANITA AVE., EL MONTE, CA 91733

SHEET INDEX

- A-01 - COVER SHEET, VICINITY MAP,
- SITE MAP & PLOT PLAN
- A-02 - EXISTING SITE PLAN
- A-03 - EXISTING 1st FLOOR PLAN
- A-04 - EXISTING 2nd FLOOR PLAN
- A-05 - PROPOSED NEW LAYOUT
- OF 2nd FLOOR PLAN
- A-06 - (E) ELEVATIONS
- with (N) SIGNAGES

GENERAL NOTES :

LEGAL DESCRIPTION

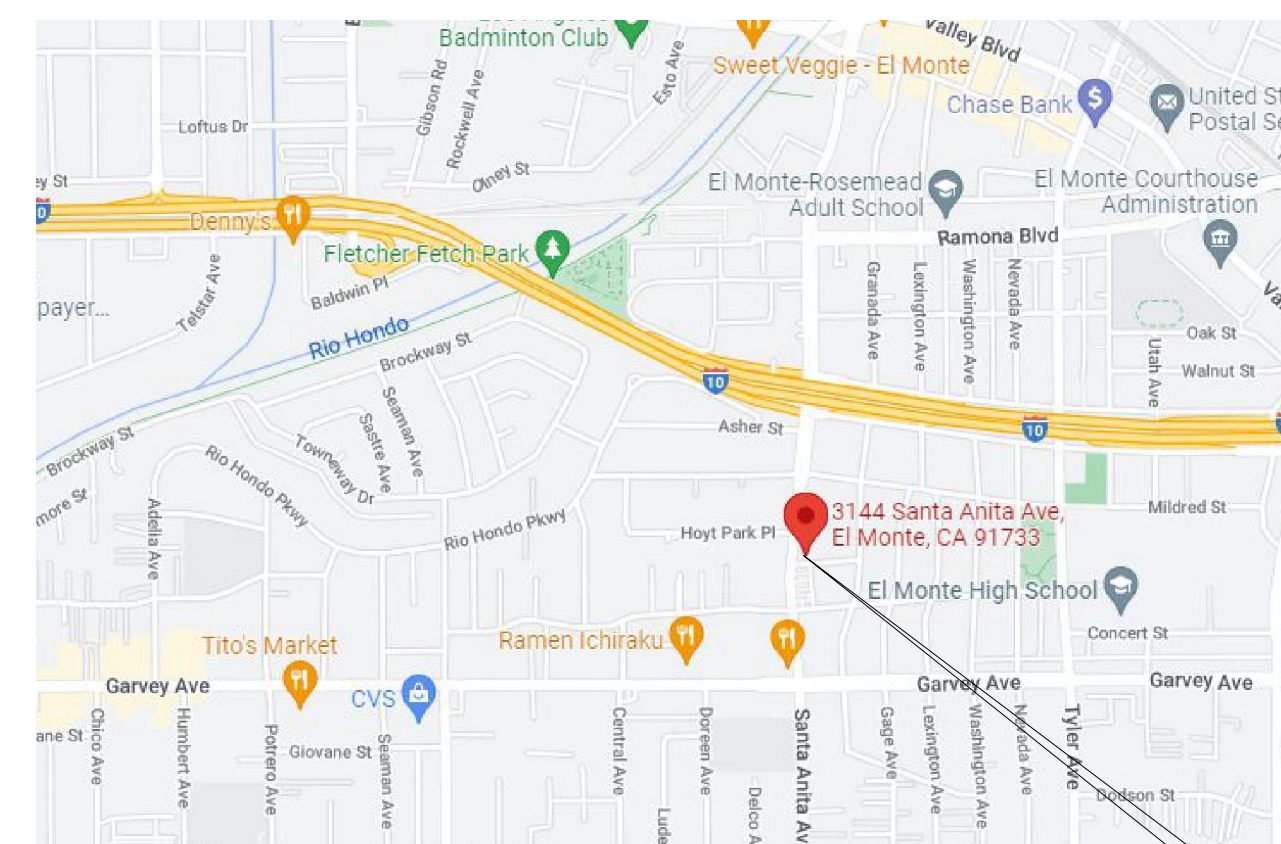
PROJECT DATA

1. SCOPE OF WORK:
NEW TENANT SEEKING C.U.P. TO OCCUPY 2nd FLOOR REQUIRING A RECONFIGURATION OF FLOOR SPACE. TENANT IS A MEDICAL PROFESSIONAL SCHOOL. PROPOSED RENOVATION INCLUDES RECONFIGURING OF SOME WALLS AND TO ADD RESTROOMS. NEW FINISHES AND PAINT WILL ENCOMPASS THE MAJORITY OF THE REMAINING WORKS. NO CHANGES PROPOSED TO EXISTING 1ST FLOOR TENANT.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSION AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS ARE TO FACE OF STUDS, CONCRETE BLOCK, OR CENTER LINE OF STUDS.
5. ALL WORK, CONSTRUCTION AND MATERIAL SHALL COMPLY WITH ALL PROVISION OF THE BUILDING CODE AND WITH OTHER RULES, COVERING THE PLACE OF BUILDING. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN REQUIREMENTS OF THE CODE AND DRAWINGS.
6. REFERENCE TO ANY DETAILS OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING.
7. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWING AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY WORK.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE & DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISIT TO THE SITE BY FIELD REPRESENTATIVE OF THE ARCHITECT AND HIS ENGINEERS SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR CONSTRUCTION PROCEDURES REQUIRED FOR THE SAME WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND HIS ENGINEERS DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS DETAILED INSPECTION WHICH AREA FURNISHED BY OTHERS. THE ARCHITECTS AND HIS ENGINEERS ARE SOLELY RESPONSIBLE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTORS PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
10. MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION AS REQUIRED BY APPLICABLE REGULATIONS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR COORDINATING HIS WORK AND/OR EQUIPMENT SUPPLIED BY OWNER.
12. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ACTIONS TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON IS KNOWLEDGEABLE OF ANY DISCREPANCIES OMISSIONS, OR AMBIGUITY IN THE DRAWINGS OR SPECIFICATIONS UNTIL THE ARCHITECT HAS BEEN NOTIFIED. HAS CORRECTED THE DISCREPANCIES OR MORE CLEARLY EXPLAINED THE CONTENTS OF THE DRAWINGS OR SPECIFICATIONS.
13. GLAZING MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE SPECIFICATIONS SECTION 08800 AND U.B.C. SEC. 3312 & 3314.
14. FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION. ALL DOORS SHALL LIMIT AIR LEAKAGE AROUND OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND ROOF, BETWEEN PANELS AND AT PENETRATIONS OF UTILITIES THRU ENVELOPE SHALL BE SEALED, CAULK OR WEATHER STRIPPED TO THEIR PERIMETER WHEN IN A CLOSE POSITIONS PROVIDE SEAL OR ASTRAGAL AT HEAD, SILL AND WALL JAMBS. LIMIT AIR LEAKAGE.
15. IF REQUIRED BY THE BUILDING INSPECTOR, A PROTECTION FENCE SHALL BE CONSTRUCTED AND MAINTAINED CONFORMING TO THE REQUIREMENTS OF THE BUILDING CODE.
16. THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAW.

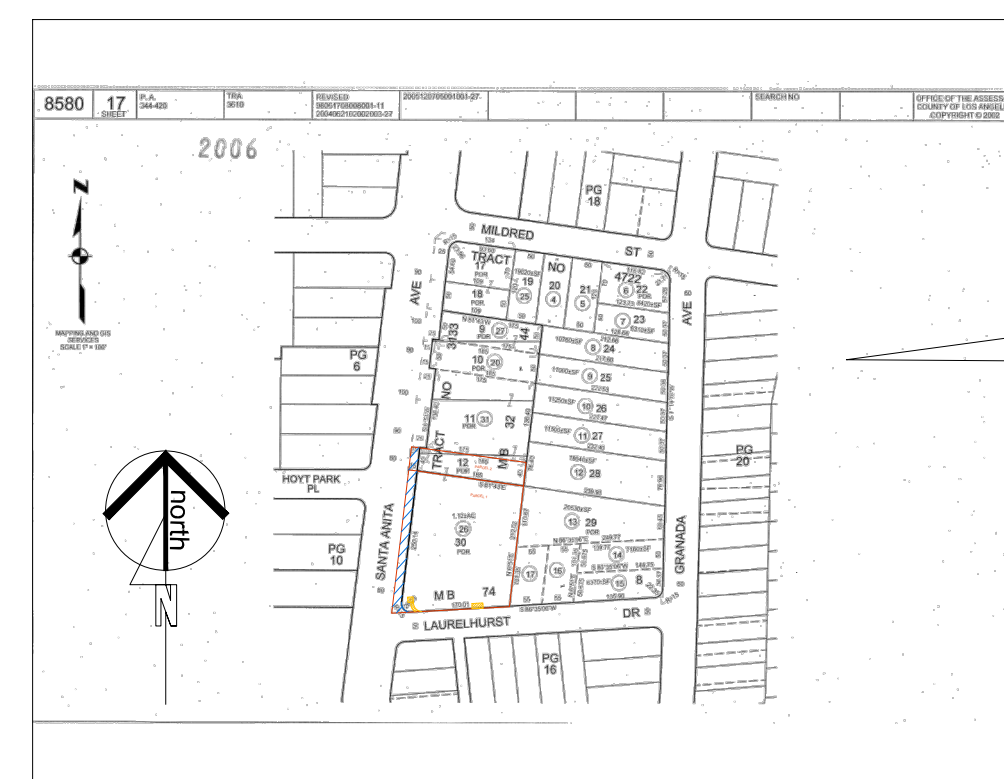
LOT	30
TRACT	4722
APN	8580-017-026
ZONING	C-1
DISTRICT	EAST DISTRICT OFFICE
REGION	27
CLUSTER	27633 EL MONTE
LOT 30 SQUARE FEET	42,664 (SQ.FT.)
LOT 12 SQUARE FEET	7,400 (SQ.FT.)
TOTAL LOT AREA	= 50,064 (SQ.FT.)

SCOPE OF WORK:
PROPOSED RENOVATION OF (E) 2ND FLOOR AREA = 11,044 S.F.
TO ADD INTERIOR WALLS AND TOILET
AND (N) SIGNAGE OUTSIDE THE BUILDING.

BUILDING AREA:
(E) FIRST FLOOR AREA = 11,393 S.F.
(E) SECOND FLOOR AREA = 11,360 S.F.
TOTAL BLDG. AREA = 22,753 S.F./50,064 S.F. (LOT AREA)
= .45% OF LOT AREA

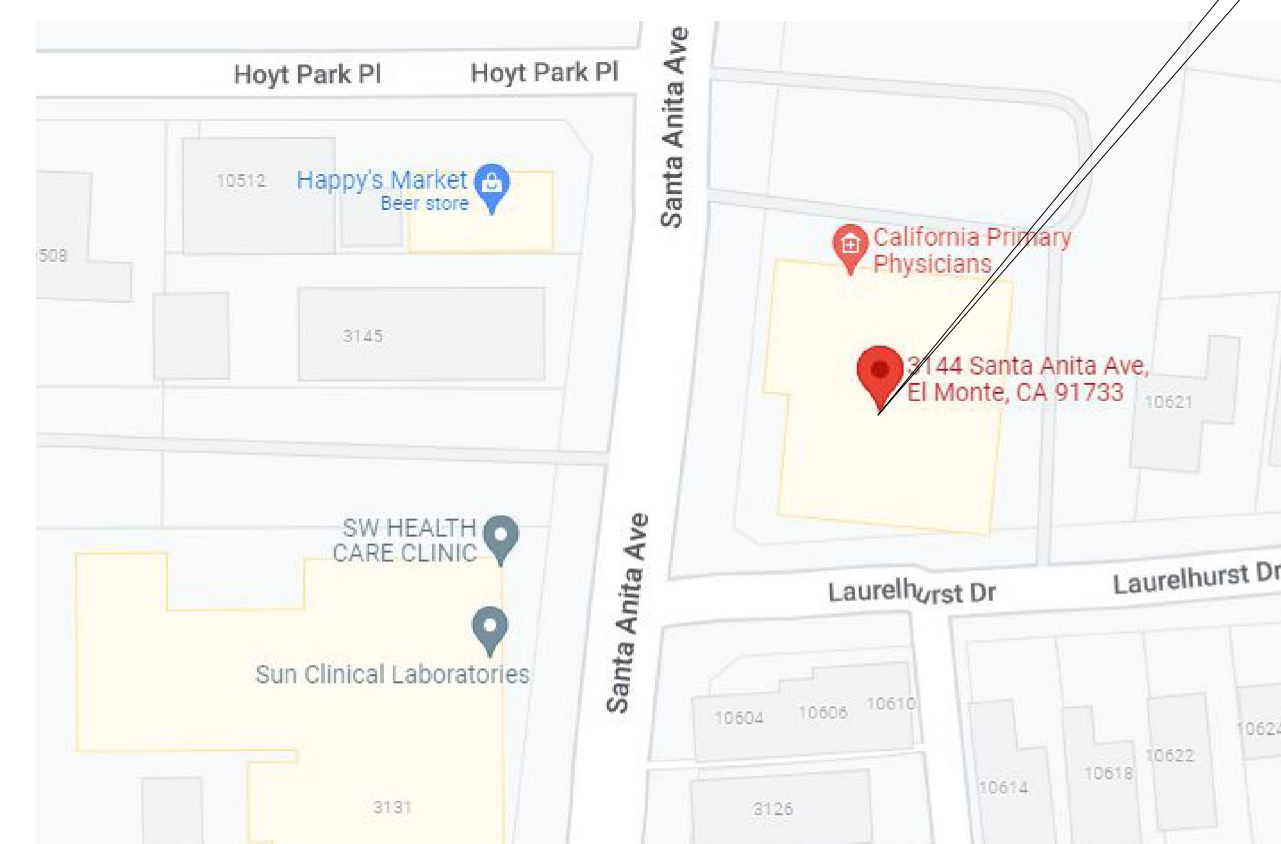


B SITE MAP
SCALE: N.T.S.

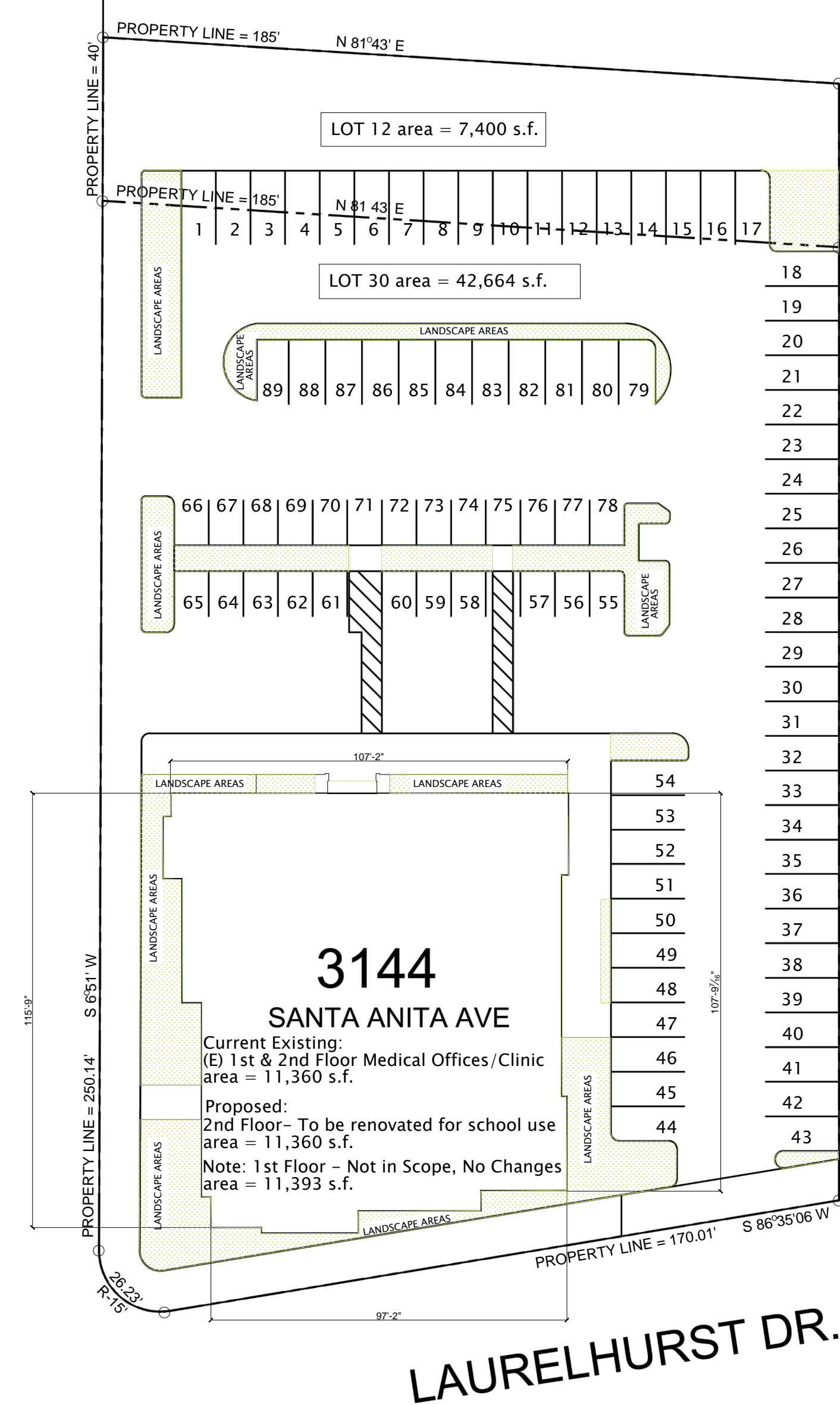


(E) SITE
3144 SANTA ANITA AVE.,
EL MONTE, CA 91733

- LEGEND:**
- PARCEL 1
 - PARCEL 2
 - 01/29/1930 #256-040
Bk9749 Pg22 (Public Street)
 - 01/22/1989 #98-96085
(Distributing Electrical Energy)



C VICINITY MAP
SCALE: N.T.S.



A PLOT PLAN
SCALE: 1/8"=1'-0"

APPROVED BY: _____
TEL. # _____

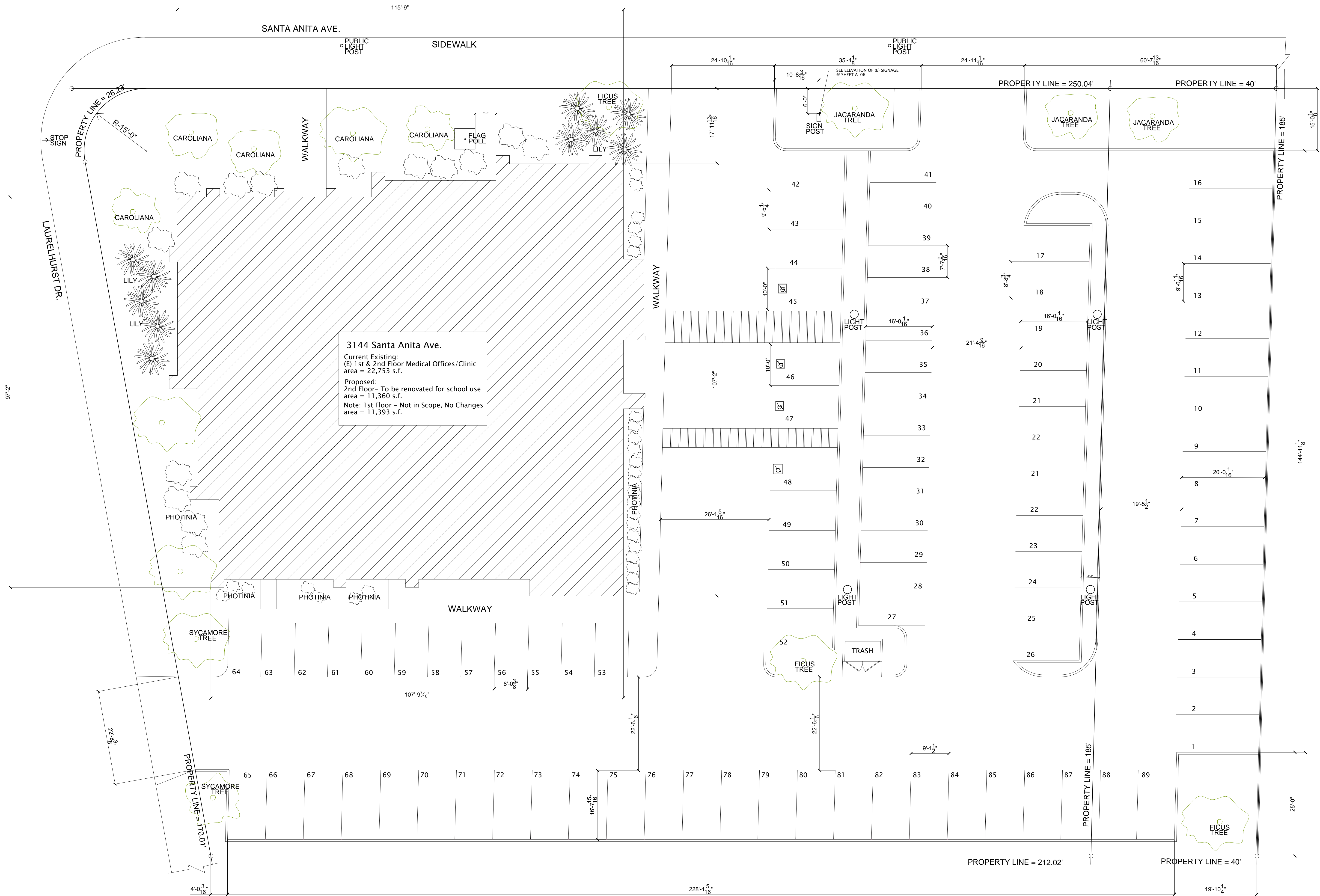
**PROPOSED RENOVATION
OF INTERIOR LAYOUT**
OWNER:
REGAN CAREER INSTITUTE
ADDRESS:
3144 Santa Anita Ave., El Monte, CA 91733

REVISION:	DATE:
START AR DWGS.	12-23-2021
UPDATED	01-04-2022
UPDATED	01-14-2022
UPDATED	01-14-2022
UPDATED	04-27-2022
UPDATED	08-03-2022
UPDATED	08-15-2022

TITLE SHEET:
COVER SHEET, VICINITY MAP
SITE MAP, PLOT PLAN
GENERAL NOTES & SHEET INDEX

DRAWN BY:
T&G DESIGN
TEO COTANGCO
TEL. # 562-212-8830
ADDRESS:
5914 CALIFORNIA AVE.,
LONG BEACH, CA 90805
SCALE: AS SHOWN
DATE: 12-23-21

SHEET NUMBER
A- 1



APPROVED BY: _____
 TEL. # _____

PROJECT: **PROPOSED RENOVATION OF INTERIOR LAYOUT**
 OWNER: **REGAN CAREER INSTITUTE**
 ADDRESS: **3144 Santa Anita Ave., El Monte, CA 91733**

REVISION:	DATE:
START AR DWGS.	12-23-2021
UPDATED	01-04-2022
UPDATED	01-14-2022
UPDATED	01-24-2022
UPDATED	04-27-2022
UPDATED	08-03-2022
UPDATED	08-10-2022

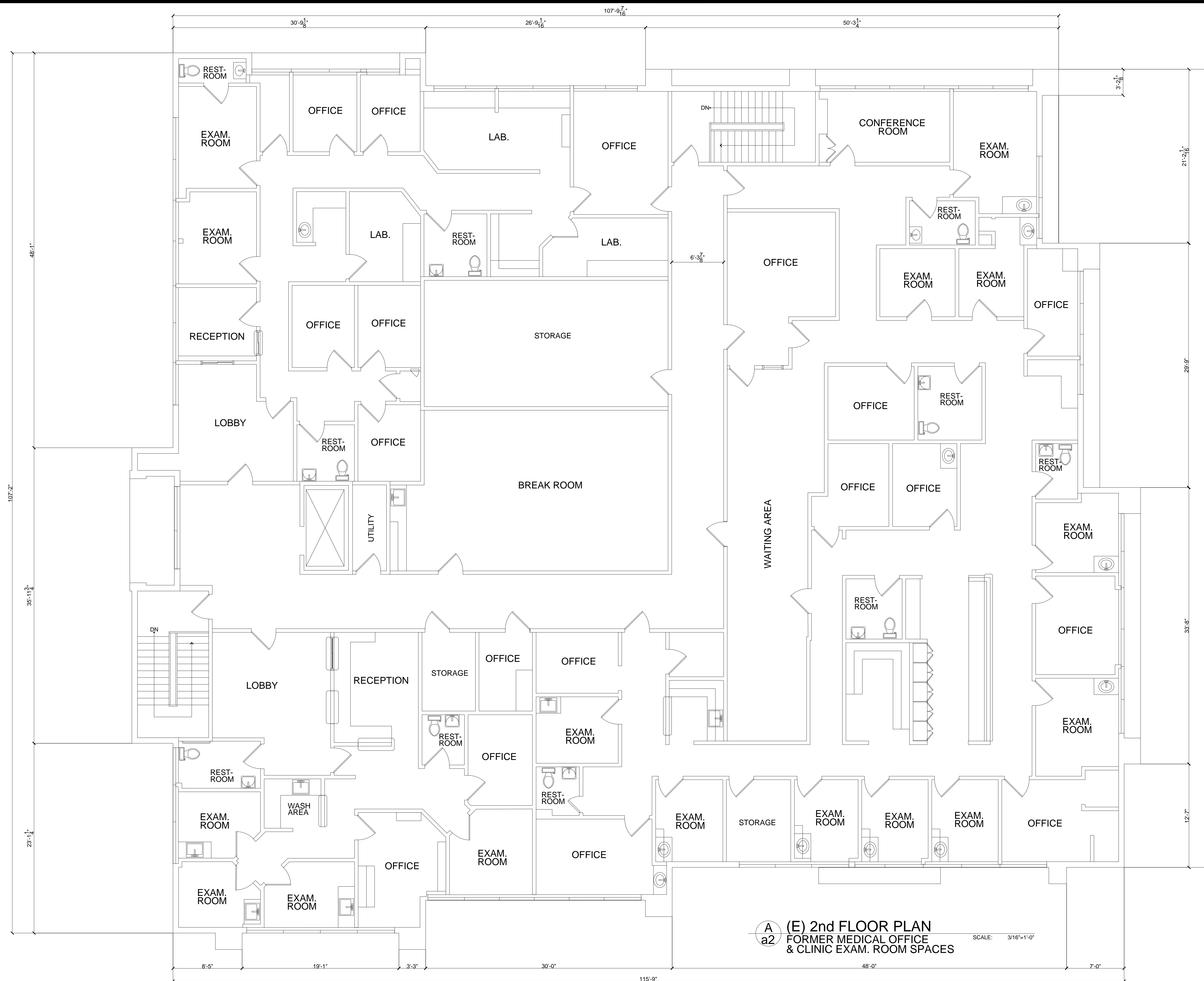
TITLE SHEET:
(E) SITE PLAN
 (NO PROPOSED CHANGES)

DRAWN BY:
 T&G DESIGN
 TEO COTANGCO
 TEL. # 562-212-8830
 ADDRESS:
 5914 CALIFORNIA AVE.,
 LONG BEACH, CA 90805
 SCALE: AS SHOWN
 DATE: 12-23-21

SHEET NUMBER
A-2

(E) SITE PLAN

SCALE: 3/16"=1'-0" north



(E) 2nd FLOOR PLAN
 FORMER MEDICAL OFFICE
 & CLINIC EXAM. ROOM SPACES
 SCALE: 3/16"=1'-0"

APPROVED BY:
 TEL. #

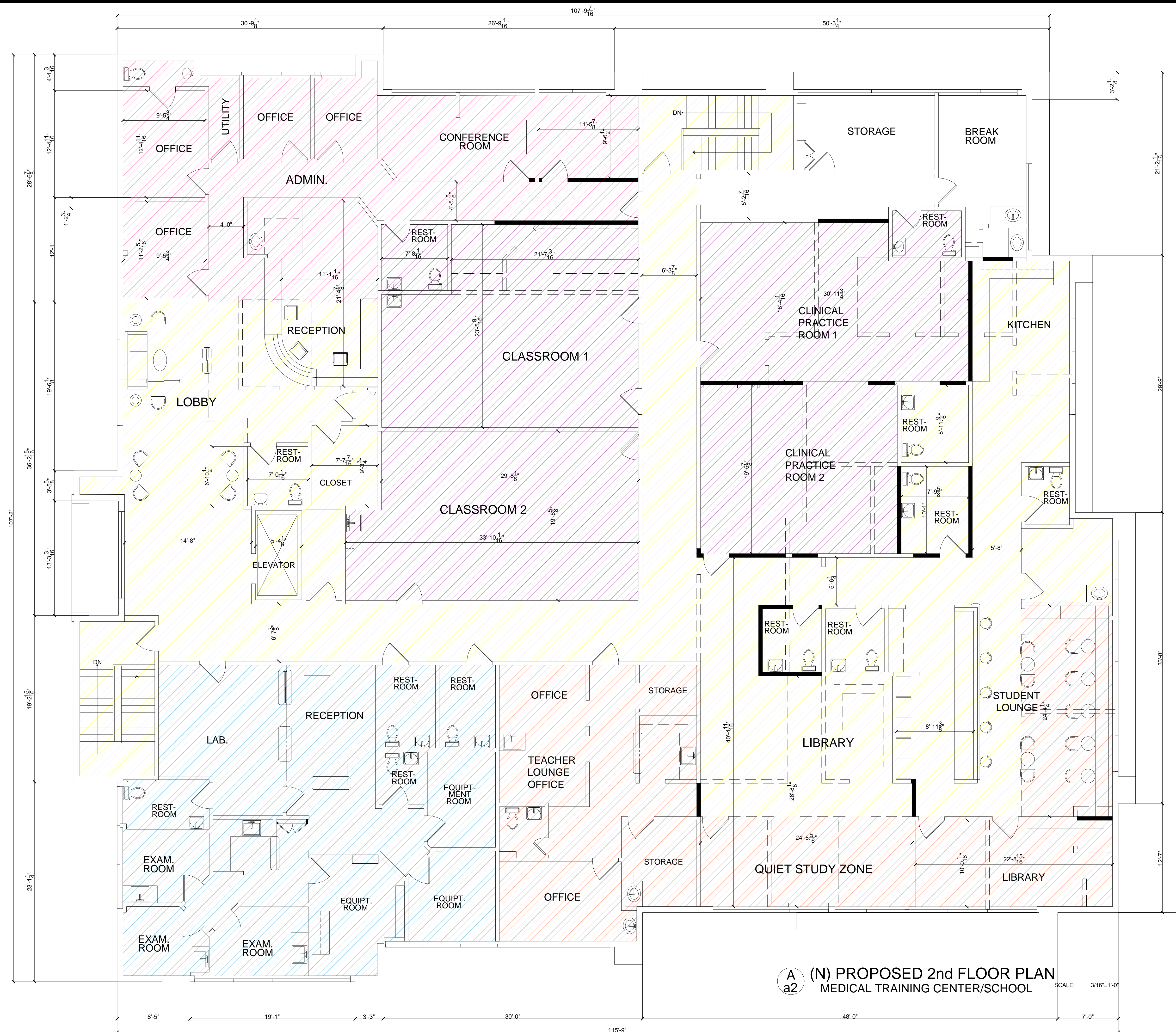
PROJECT: **PROPOSED RENOVATION OF INTERIOR LAYOUT**
 OWNER: **REGAN CAREER INSTITUTE**
 ADDRESS: **3144 Santa Anita Ave., El Monte, CA 91733**

REVISION:	DATE:
START AR DWGS.	12-23-2021
UPDATED	01-04-2022
UPDATED	01-14-2022
UPDATED	01-24-2022
UPDATED	04-27-2022
UPDATED	05-19-2022

TITLE SHEET:
EXISTING 2nd FLOOR PLAN
MEDICAL OFFICE & CLINIC EXAM ROOM SPACE

DRAWN BY:
 T&G DESIGN
 TEO COTANGCO
 TEL. # 562-212-8830
 ADDRESS:
 5914 CALIFORNIA AVE.,
 LONG BEACH, CA 90805
 SCALE: AS SHOWN
 DATE: 12-23-21

SHEET NUMBER
A-4



- SCOPE OF WORK:**
- # ENLARGE LOBBY
 - # ADD NEW WALLS (SEE DARK WALLS)
 - # DEMO (E) WALLS (SEE BROKEN LINES)
 - # RECONFIGURE EXISTING BATHROOMS & STORAGE TO CLASSROOMS
 - # ADD MEDICAL LABORATORY
 - # RECONFIGURE RESTROOMS
 - # RECONFIGURE EXISTING OFFICES TO STUDENT LOUNGE & LIBRARY

LEGEND:

	(N) WALL ADDITIONS
	(E) WALL
	(E) WALLS TO BE REMOVED
	(E) WALLS BELOW
	COMMON AREAS
	ADMIN.
	STUDENT / RESOURCE
	LECTURE & CLINICAL
	LAB.

A
a2 (N) PROPOSED 2nd FLOOR PLAN
MEDICAL TRAINING CENTER/SCHOOL SCALE: 3/16"=1'-0"

APPROVED BY: _____
TEL. # _____

PROJECT: **PROPOSED RENOVATION OF INTERIOR LAYOUT**
OWNER: **REGAN CAREER INSTITUTE**
ADDRESS: **3144 Santa Anita Ave., El Monte, CA 91733**

REVISION:	DATE:
START AR DWGS.	12-23-2021
UPDATED	01-04-2022
UPDATED	01-14-2022
UPDATED	01-24-2022
UPDATED	04-27-2022

TITLE SHEET:
- NEW 2nd FLOOR PLAN
- RECONFIGURE INTERIOR SCHOOL (IN SCOPE)
FOR TENANT FIT-OUT/USE

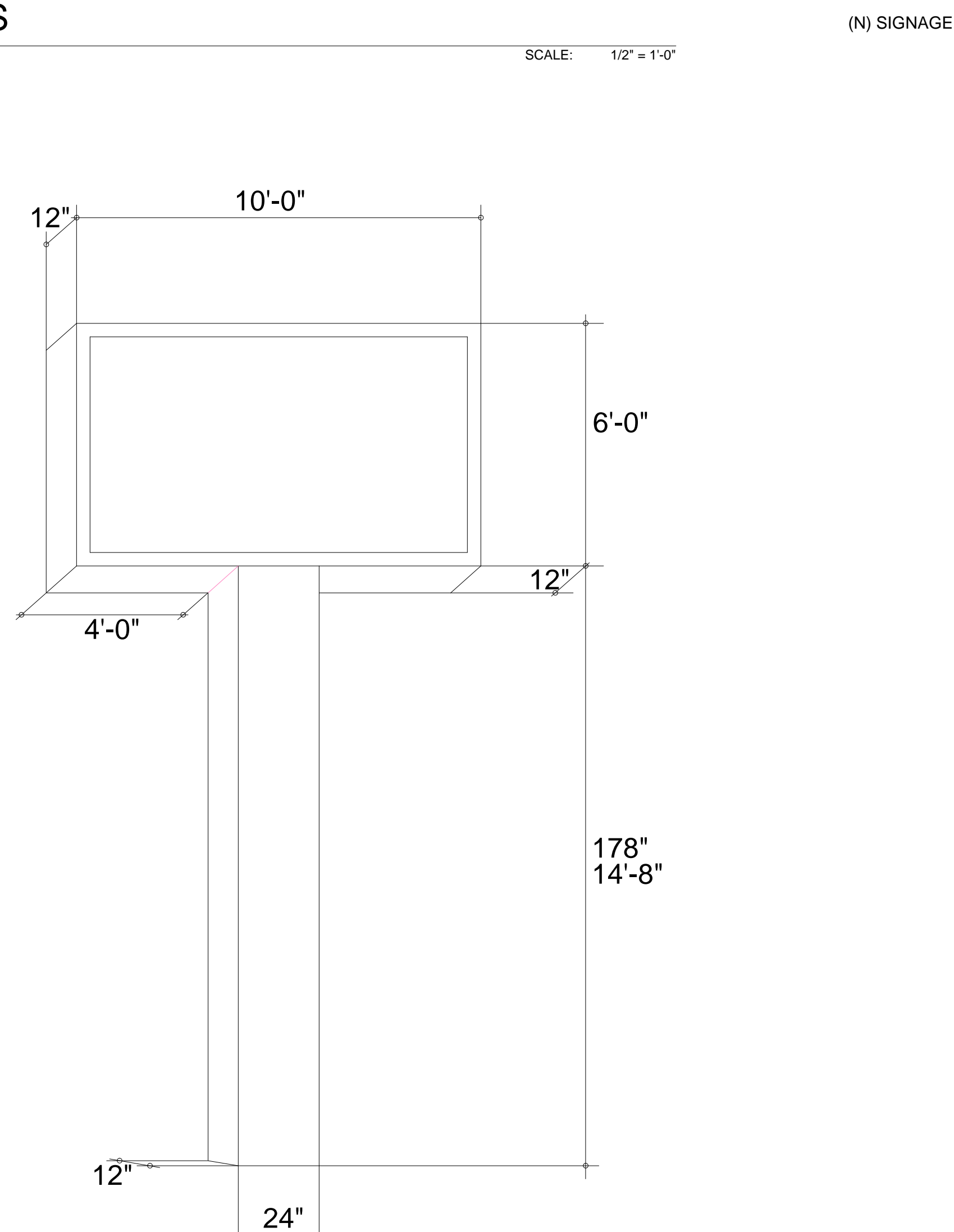
DRAWN BY: T&G DESIGN
TEO COTANGCO
TEL. # 562-212-8830
ADDRESS: 5914 CALIFORNIA AVE., LONG BEACH, CA 90805
SCALE: AS SHOWN
DATE: 12-23-21

SHEET NUMBER
A-5

TYPE OF SIGN : BACKLIT, BLOCK LETTERS, FLOATING
 FONT : ITC AVANT GARDE GOTHIC

1'-8" **Regan Career Institute** 1'-3 1/4"
 20'-0"

SIGNAGE DETAILS



(E) SIGNAGE ELEVATION
 (No Changes Proposed to existing Pylon Signage) SCALE: 3/8" = 1'-0"



(B a6) (E) FRONT ELEVATION along PARKING AREA SCALE: N.T.S.



(A a6) (E) RIGHT ELEVATION along SANTA ANITA AVE. SCALE: N.T.S.



(B a6) (E) FRONT ELEVATION showing PYLON SIGNAGE SCALE: N.T.S.

APPROVED BY:	
TEL. #	

PROJECT: PROPOSED RENOVATION OF INTERIOR LAYOUT
 OWNER: REGAN CAREER INSTITUTE
 ADDRESS: 3144 Santa Anita Ave., El Monte, CA 91733

REVISION:	DATE:
START AR DWGS.	12-23-2021
UPDATED	01-04-2022
UPDATED	01-14-2022
UPDATED	01-14-2022
UPDATED	04-27-2022
UPDATED	06-19-2022

TITLE SHEET:
 (E) ELEVATIONS with THE (N) SIGNAGE DETAILS

DRAWN BY:
 T&G DESIGN
 TEO COTANGCO
 TEL. # 562-212-8830
 ADDRESS:
 5914 CALIFORNIA AVE.,
 LONG BEACH, CA 90805
 SCALE: AS SHOWN
 DATE: 12-23-21

SHEET NUMBER
A- 6

**CITY OF EL MONTE ZONING REVIEW COMMITTEE
NOTICE OF PUBLIC HEARING**

**Hablamos Español favor de hablar con
Jeni Colon - (626) 258-8626**

TO: All Interested Parties

FROM: City of El Monte Planning Division

PROPERTY LOCATION: 3144 Santa Anita Avenue / APN: 8580-017-026

APPLICATION: Minor Use Permit (MUP) No. 2-22

REQUEST: The Applicant is requesting approval to establish a 11,360 square foot (SF) medical trade school within an existing 22,600± SF building. The subject site is located in the C-2 (Neighborhood Commercial) zone. The MUP request is made pursuant to Chapter 17.123 (Conditional and Minor Use Permits) of the El Monte Municipal Code (EMMC).

APPLICANT: Regan Yu
11350 Valley Boulevard
El Monte, CA 91731

PROPERTY OWNER: California Primary Care Physicians, El Monte Group LTD.
1025 W. Olympic Boulevard
Los Angeles, CA 90015

ENVIRONMENTAL DOCUMENTATION: Article 19. Categorical Exemptions – Section 15301 (Class 1 – Existing Facilities) in accordance with the requirements of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended.

PLACE OF HEARING: Pursuant to State Law, the Zoning Review Committee will hold a public hearing to receive testimony, orally and in writing, on the proposed project. The public hearing is scheduled for:

Date: Tuesday, July 26, 2022 (Special Meeting Date)
Time: 6:00 p.m.
Place: El Monte City Hall East – Council Chambers
11333 Valley Boulevard, El Monte, CA 91731

Members of the public wishing to observe the meeting may do so in one of the following ways:

- (1) Attend the meeting in person at the City's Council Chambers. All COVID-19 safety precautions (e.g.- wearing a mask and social distancing) shall be followed at all times.
- (2) Turn your TV to Channel 3;
- (3) Visit the City's website at <http://www.elmonteca.gov/378/Council-Meeting-Videos>; or
- (4) Call-in Conference (669) 444 9171; Meeting ID 819 5313 8958 and then press #. Press # again when prompted for participant ID.

Members of the public wishing to make public comment may do so via the following ways:

- (1) Call-in Conference (669) 444 9171; Meeting ID 819 5313 8958 and then press #. Press # again when prompted for participant ID. Once admitted into the meeting, press *9 to request to speak.
- (2) Email – All interested parties can submit questions/comments in advance to the Planning Division's general email address: planning@elmonteca.gov. All questions/comments must be received by the Planning Division no later than 3:00 pm, July 26, 2022.

The staff report on this matter will be available on or about July 21, 2022, on the City of El Monte website, which may be accessed at <https://www.ci.el-monte.ca.us/AgendaCenter/Planning-Commission-2> or by e-mailing aperez@elmonteca.gov.

Americans With Disabilities Act

In compliance with Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132) and the federal rules and regulations adopted in implementation thereof, the Agenda will be made available in appropriate alternative formats to persons with a disability. Should you need special assistance to participate in this meeting, please contact the City Clerk's Office by calling (626) 580-2016. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Persons wishing to comment on the environmental documentation or proposed application may do so in writing prior to the meeting date and must be received by 3:00 p.m., the day of the meeting. Public Comments of no more than 3-minutes shall be read into the record. Written comments shall be sent to Adrian Perez; El Monte City Hall West; 11333 Valley Boulevard; El Monte, CA 91731 or at aperez@elmonteca.gov. If you challenge the decision of the City Zoning Review Committee, in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Zoning Review Committee at, or prior to, the public hearing. For further information regarding this application please contact Adrian Perez at (626) 258-8808. Monday through Thursday, except legal holidays, between the hours of 7:00 a.m. and 5:30 p.m.

Published:
Mailed:

Thursday, July 14, 2022
Wednesday, July 13, 2022

City of El Monte Zoning Review Committee
Sandra Elias, Zoning Review Committee Secretary

LOCATION MAP

MINOR USE PERMIT NO. 02-22
3144 SANTA ANITA AVENUE / APN: 8580-017-026





X

COVID-19 Vaccine Location - El Monte

Shining Star Preschool

La Parking Market

Crown City Medical Group

California Primary Physicians

Happy's Market

SW Health Care Clinic

Sun Clinical Laboratories

Locomotion Therapy

Valley View Post Acute

Granada Ave

Gage Ave

Bodger St

Santa Anita Ave

Hoyt Park Pl

Bodger St

Bodger St

Bodger St

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MILDEED ST

Map data ©2022 Google, United States, Terms, Privacy, Street View, 58 ft



3144